

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
DECEMBER 14, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the November 30, 2021 Planning and Zoning Commission meetings.

(3) **P2021-060 (HENRY LEE)**

Consider a request by Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Final Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

(4) **SP2021-034 (HENRY LEE)**

Consider a request by Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Site Plan for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(5) **P2021-058 (ANDREW REYNA)**

Hold a public hearing to discuss and consider a request by Tari Kinsey for the approval of a Final Plat for Lots 1-4, Block A, Kinsey Addition being a 0.76-acre tract of land identified as a portion of Blocks 9 & 10, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 802, 806, & 808 Kernodle Street, and take any action necessary.

(6) **Z2021-048 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC on behalf of John Arnold of the Skorburg Company for the approval of a PD Development Plan for a General Retail Development/Shopping Center on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated

within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

(7) **Z2021-049 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 12-11 [S-094]* and allowing the expansion of an existing *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 1, Block 1 and Lot 1, Block 2, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(8) **SP2021-031 (HENRY LEE)**

Discuss and consider a request by Sam Moore of Main & Main on behalf of Jason Claunch of 7.1 Ridge, LLC for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. Dutch Bros. Coffee)* on a 0.57-acre portion of a larger 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within Scenic Overlay (SOV) District, generally located southeast of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

(9) **SP2021-032 (ANDREW REYNA)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Timothy Payne of BT Management 11, LLC for the approval of a Site Plan for a *Medical Office Building* on a 0.47-acre parcel of land identified as Lot 2, Block 1, Elsey Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally south of the intersection of Sonoma Drive and N. Goliad Street [SH-205], and take any action necessary.

(10) **SP2021-033 (HENRY LEE)**

Discuss and consider a request by Aaron Hawkins on behalf of Time Thompson of Metroplex Acquisitions for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. Salad and Go)* on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

(VII) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(11) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2021-051: Preliminary Plat for the Winding Creek Subdivision (**APPROVED**)
- P2021-052: Master Plat for the Winding Creek Subdivision (**APPROVED**)
- P2021-057: Final Plat for Lots 1 & 2, Block A, Fite Office Addition (**APPROVED**)
- P2021-059: Final Plat for Lots 1 & 2, Block A, Wurster Estates Addition (**APPROVED**)
- P2021-061: Replat for Lots 5-8, Block B, Fit Sport Life Addition (**APPROVED**)
- P2021-062: Replat for Lot 1, Block A; Lot 1, Block B; and Lot 1, Block C, Rockwall Technology Park, Phase V Addition (**APPROVED**)
- Z2021-043: SUP for *Residential Infill in an Established Subdivision* at 601 Kernodle Street (**APPROVED; 2ND READING**)
- Z2021-044: SUP for *Residential Infill in an Established Subdivision* at 478 Renee Drive (**APPROVED; 2ND READING**)
- Z2021-045: SUP for *Residential Infill in an Established Subdivision* at 418 Columbia Drive (**APPROVED; 2ND READING**)
- Z2021-046: SUP for two (2) *Agricultural Accessory Buildings* and an *Animal Shelter or Loafing Shed* at 1700 SH-66 (**APPROVED; 2ND READING**)
- Z2021-047: SUP for an *Animal Shelter or Loafing Shed* at 555 Cornelius Road (**APPROVED; 2ND READING**)

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on December 10, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
DECEMBER 14, 2021 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION ITEMS

(1) **SP2021-031 (HENRY LEE)**

Discuss and consider a request by Sam Moore of Main & Main on behalf of Jason Claunch of 7.1 Ridge, LLC for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. Dutch Bros. Coffee)* on a 0.57-acre portion of a larger 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within Scenic Overlay (SOV) District, generally located southeast of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

(2) **SP2021-032 (ANDREW REYNA)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Timothy Payne of BT Management 11, LLC for the approval of a Site Plan for a *Medical Office Building* on a 0.47-acre parcel of land identified as Lot 2, Block 1, Elsey Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally south of the intersection of Sonoma Drive and N. Goliad Street [SH-205], and take any action necessary.

(3) **SP2021-033 (HENRY LEE)**

Discuss and consider a request by Aaron Hawkins on behalf of Time Thompson of Metroplex Acquisitions for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. Salad and Go)* on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

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I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on December 10, 2021 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
NOVEMBER 30, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Vice-Chairman Jerry Welch called the meeting to order at 6:00 PM. Commissioners present were John Womble, Sedric Thomas, Jean Conway,
5 and Derek Deckard. Absent from the meeting were Chairman Eric Chodun and Commissioner Mark Moeller. Staff members present were Planning
6 and Zoning Director Ryan Miller, Planners Henry Lee and Andrew Reyna, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy
7 Williams and Civil Engineer Sarah Johnston. Absent from the meeting was Civil Engineer Jeremy White.
8

9 II. APPOINTMENTS
10

- 11 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for
12 items on the agenda requiring architectural review.
13

14 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the
15 Architectural Review Board meeting.
16

17 III. OPEN FORUM
18

19 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the
20 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the
21 OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas
22 Open Meetings Act.*
23

24 Vice-Chairman Welch explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no
25 one coming forward, Vice-Chairman Welch closed the open forum.
26

27 IV. CONSENT AGENDA
28

29 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code
30 (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
31

- 32 2. Approval of Minutes for the November 9, 2021 Planning and Zoning Commission meeting.
33
- 34 3. **P2021-051 (HENRY LEE)**
35 Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of Gordon C. Fogg for the approval of a Preliminary Plat for the
36 Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-
37 05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-
38 Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action
39 necessary.
40
- 41 4. **P2021-052 (HENRY LEE)**
42 Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of Gordon C. Fogg for the approval of a Master Plat for the
43 Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-
44 05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-
45 Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action
46 necessary.
47
- 48 5. **P2021-057 (ANGELICA GAMEZ)**
49 Consider a request by Frank Fite for the approval of a Final Plat for Lots 1 & 2, Block A, Fite Office Addition being a 0.82-acre tract of land identified as
50 Lots A & D, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for
51 Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 & 812 N. Goliad Street
52 [SH-205], and take any action necessary.
53
- 54 6. **P2021-059 (ANDREW REYNA)**
55 Consider a request by Michael & Jennifer Wurster for the approval of a Final Plat for Lots 1 & 2, Block A, Wurster Estates Addition being a 12.82-acre
56 tract of land identified as Lot 1 of the L. L. Leonard Addition and Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall
57 County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District, addressed as 550 E. Quail Run Road, and take
58 any action necessary.
59
- 60 7. **P2021-061 (ANGELICA GAMEZ)**
61 Consider a request by Randall Eardley of Wier & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval
62 of a Replat for Lots 5-8, Block B, Fit Sport Life Addition being a 15.281-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R.

Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

8. **P2021-062 (ANDREW REYNA)**

Consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a Final Plat for Lot 1, Block A; Lot 1, Block B; and Lot 1, Block C, Rockwall Technology Park, Phase V Addition being a 214.7576-acre tract of land identified as Tract 10-1 of the J. A. Ramsey Survey, Abstract No. 186 and Tract 5 & 6 of J. H. B. Jones Survey, Abstract No. 125 City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of Rochelle Road and SH-276, and take any action necessary.

Commissioner Thomas made a motion to approve the consent agenda. Commissioner Deckard seconded the motion which passed by a vote of 5-0 with Commissioners Moeller and Chodun absent.

V. ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

9. **MIS2021-014 (HENRY LEE)**

Discuss and consider a request by Brian Baker of EMC on behalf of Tim Draughn of Lowes for the approval of an Exception to the Outdoor Lighting Standards for Non-Residential Properties for an existing General Retail Store (i.e. Lowes Home Improvement) being a 16.062-acre parcel of land identified as Lot 3, Block C, Steger Towne Crossing, Phase II Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 851 Steger Towne Drive, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting an approval of an exception to the outdoor lighting standards for non-residential properties. The applicant stated the request was due to the following reasons: the spillover would benefit the neighboring commercial properties and general site constraints. On July 20, 2021, the applicant submitted a commercial building permit to replace the lighting fixtures on the subject property. Staff reviewed the photometric plan submitted and found that the foot candles on the property lines did not meet the requirement within the UDC. The applicant then submitted 2 more photometric plans but they failed to meet the requirement as well. This then prompted the applicant to submit this exception to the Planning and Zoning Commission. Mr. Lee then advised that this was a discretionary decision for the Planning and Zoning Commission and will require a 3-4 majority vote for approval.

Commissioner Womble asked if they explained why they couldn't comply with the requirement as stated.

Commissioner Deckard asked how far away the applicants were from meeting the requirement.

Vice-Chairman Welch made a motion to deny MIS2021-014. Commissioner Womble seconded the motion to deny which passed by a vote of 5-0.

10. **MIS2021-015 (ANDREW REYNA)**

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of 549 Crossing, LP the approval of a Variance to the Utility Placement requirements in the General Overlay District Standards to allow overhead utilities in conjunction with a Retail Store with Gasoline Sales on a 1.503-acre portion of a larger tract of land being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

Planner Andrew Reyna provided a brief summary in regards to the request. The applicant is requesting approval of a variance that would allow for the relocation of existing overhead powerlines from the interior of the site to the right-of-way line adjacent to the proposed landscape buffer. Many of the compensatory measures provided were already used to justify the variance to the roof standards on the original site plan that was approved. Staff should note that previous cases with similar requests have not been approved previously by the City Council or the Planning and Zoning Commission in order to not set a precedence. The approval of any variance in an established overlay district will require a 3-4 majority vote.

Vice-Chairman Welch asked the applicant to come forward.

**Keaton Mai
10755 Sandhill Rd
Dallas, TX 75238**

Mr. Mail came forward and provided additional details in regards to the request.

Commissioner Deckard asked if the applicant had anything in writing from Farmers Electric.

Commissioner Conway asked what the time frame would be from Farmers.

**Michael Hampton
10777 Sandhill Rd
Dallas, TX 75238**

131 Mr. Hampton came forward and provided additional details in regards to the request as well.

132
133 After some discussion, Commissioner Thomas made a motion to deny MIS2021-015. Commissioner Womble seconded the motion to deny
134 which passed by a vote of 5-0.

135
136 VI. DISCUSSION ITEMS

137
138 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
139 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*
140 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for*
141 *the following cases is December 14, 2021.*
142

143 11. Z2021-048 (RYAN MILLER)

144 Hold a public hearing to discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC on behalf of John Arnold of the Skorburg Company
145 for the approval of a PD Development Plan for a General Retail Development/Shopping Center on an 8.63-acre portion of a larger 36.428-acre tract of
146 land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District
147 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the
148 northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

149
150 Planning and Zoning Director Ryan Miller advised that the applicant was present.

151
152 Bowen Hendrix
153 4403 N Central Expressway
154 Dallas, TX 75205

155
156 Mr. Hendrix came forward and provided a brief summary in regards to the request.

157
158 Mr. Miller added that the Planned Development District already allows for General Retail on this tract as it's allowed by right. The PD requires
159 the applicant to come forward with a PD Development Plan and show how they are incorporating screening and connectivity to the adjacent
160 uses. The Planning and Zoning Commission is specifically tasked with looking at the screening mechanisms and the connectivity. In this
161 case, the applicant is proposing to provide three-tiered landscaping and a berm adjacent to areas where they have residential adjacency. Mr.
162 Miller advised that they were also proposing to put in a playground amenity area as well as outdoor seating. The applicant (Mr. Hendrix) then
163 clarified that the only change from the rendering would be placement of the playground.
164

165 Commissioner Thomas asked if there are any particular general retail stores in mind.

166
167 Vice-Chairman Welch advised that this item will come before the Planning and Zoning Commission for discussion or action on December
168 14, 2022.

169
170 12. Z2021-049 (HENRY LEE)

171 Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30
172 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 12-11 [S-094] and allowing the expansion of an existing
173 Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 1, Block 1 and Lot 1, Block 2, Rockwall Recreation
174 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed
175 as 1540 E. IH-30, and take any action necessary.
176

177 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting to amend their SUP with a new concept
178 plan and building elevations. They will be expanding their vehicle display lot and it also has two (2) new buildings. If approved, the applicant
179 will have to return with a new site plan where the new elevations will be reviewed by the Architectural Review Board.

180
181 Vice-Chairman Welch advised that his item will come before the Planning and Commission for discussion or action on December 14, 2022.

182
183 13. P2021-058 (ANDREW REYNA)

184 Hold a public hearing to discuss and consider a request by Tari Kinsey for the approval of a Final Plat for Lots 1-4, Block A, Kinsey Addition being a
185 0.76-acre tract of land identified as a portion of Blocks 9 & 10, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7)
186 District, addressed as 802, 806, & 808 Kernodle Street, and take any action necessary.
187

188 Planner Andrew Reyna provided a brief summary in regards to the request. He added that the only reason this item is coming before the
189 Commission is because State law requires that any replats that increase the number of lots in a subdivision be held before the Planning and
190 Zoning Commission.
191

192 Vice-Chairman Welch advised that his item will come before the Planning and Commission for discussion or action on December 14, 2022.

193
194 14. P2021-060 (HENRY LEE)

195 Discuss and consider a request by Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Final Plat for Phase 3 of the Saddle Star Subdivision
196 consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of
197 Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within

the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

Planner Henry Lee advised that this plat will be going before the Parks Board on December 7, 2021.

Vice-Chairman Welch advised that his item will come before the Planning and Commission for discussion or action on December 14, 2022.

15. **SP2021-034 (HENRY LEE)**

Discuss and consider a request by Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Site Plan for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

Planner Henry Lee advised that this site plan will be going before the Parks Board on December 7, 2021.

Vice-Chairman Welch advised that his item will come before the Planning and Commission for discussion or action on December 14, 2022.

16. **SP2021-031 (HENRY LEE)**

Discuss and consider a request by Sam Moore of Main & Main on behalf of Jason Claunch of 7.1 Ridge, LLC for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. Dutch Bros. Coffee)* on a 0.57-acre portion of a larger 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within Scenic Overlay (SOV) District, generally located southeast of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

Planner Henry Lee advised that his applicant was present. He added that the applicant is requesting three variances with the request.

**Eric Reed
4461 Desert Willow Drive
Prosper, TX 75078**

Mr. Reed came forward and provided a brief summary in regards to the request.

Vice-Chairman Welch advised that his item will come before the Planning and Commission for discussion or action on December 14, 2022.

17. **SP2021-032 (ANDREW REYNA)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Timothy Payne of BT Management 11, LLC for the approval of a Site Plan for a *Medical Office Building* on a 0.47-acre parcel of land identified as Lot 2, Block 1, Elsey Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally south of the intersection of Sonoma Drive and N. Goliad Street [SH-205], and take any action necessary.

Planner Andrew Reyna advised that his applicant was present. He added that the applicant is requesting three (3) variances but no compensatory measures in regards to the request.

**Jeff Carroll
750 E. Interstate 30, Suite 110
Rockwall, TX 75087**

Mr. Carroll came forward and provided additional details in regards to the request.

Vice-Chairman Welch advised that his item will come before the Planning and Commission for discussion or action on December 14, 2022.

18. **SP2021-033 (HENRY LEE)**

Discuss and consider a request by Aaron Hawkins on behalf of Time Thompson of Metroplex Acquisitions for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. Salad and Go)* on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

Planner Henry Lee advised his applicant was present.

**Aaron Hawkins
4500 Mercantile Plaza
Fort Worth, TX 76137**

Mr. Hawkins came forward and provided additional details in regards to the request.

Vice-Chairman Welch advised that his item will come before the Planning and Commission for discussion or action on December 14, 2022.

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19. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-053: Final Plat for Phase 1 of the Discovery Lakes Subdivision [APPROVED]
- P2021-054: Final Plat for the Emerson Farms Subdivision [APPROVED]
- P2021-055: Final Plat for Phase 2 of the Saddle Star South Subdivision [APPROVED]
- P2021-056: Final Plat for Phase 2 of the Somerset Park Subdivision [APPROVED]
- SP2021-027: Alternative Tree Mitigation Settlement Agreement for Seefried Industrial Addition [APPROVED]
- Z2021-043: SUP for Residential Infill in an Established Subdivision at 601 Kernodle Street [APPROVED; 1ST READING]
- Z2021-044: SUP for Residential Infill in an Established Subdivision at 478 Renee Drive [APPROVED; 1ST READING]
- Z2021-035: SUP for Residential Infill in an Established Subdivision at 418 Columbia Drive [APPROVED; 1ST READING]
- Z2021-046: SUP for two (2) Agricultural Accessory Buildings and an Animal Shelter or Loafing Shed at 1700 SH-66 [APPROVED; 1ST READING]
- Z2021-047: SUP for an Animal Shelter or Loafing Shed at 555 Cornelius Road [APPROVED; 1ST READING]

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VII. ADJOURNMENT

Vice-Chairman Welch adjourned the meeting at 6:48 P.M.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this ___ day of _____, 2021.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 14, 2021
APPLICANT: Pat Atkins, *CDT Rockwall 2017, LLC*.
CASE NUMBER: P2021-060; *Final Plat for Phase 3 of the Saddle Star Estates South Subdivision*

SUMMARY

Consider a request by Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Final Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 14.995-acre tract of land (*i.e. Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97*) for the purpose of establishing Phase 3 of the Saddle Star Estates South Subdivision. The single-family residential subdivision will be composed of 33 single-family homes zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses. The site is generally located northeast of the intersection of John King Boulevard and Featherstone Drive. It should be noted that the applicant has submitted a site plan [*i.e. Case No. SP2021-034*] concurrently with this final plat that shows the subdivision's landscaping, screening, and hardscape plans.
- On January 22, 2019, the City Council approved *Ordinance No. 19-07 [Case No. A2018-004]* voluntarily annexing the subject property. The purpose of this annexation was to incorporate the subject property into Planned Development District 79 (PD-79). On September 13, 2019, the applicant submitted an application requesting to amend Planned Development District 79 (PD-79) [*Ordinance No. 16-39; Case No. Z2019-021*] for the purpose of amending the development standards and concept plan and incorporating the additional 14.995-acre tract of land into the existing 55.413-acre tract of land to create an additional phase (*i.e. Phase 3*) of the Saddle Star Estates Subdivision. This amendment increased the total acreage of the subdivision to 70.408-acres. On December 21, 2021, the City Council approved a preliminary plat [*Case No. P2020-048*] for Phase 3 of the Saddle Star Estates South Subdivision.
- On December 7, 2021, the Parks and Recreation Board reviewed the Final Plat and made the following recommendations concerning the proposed subdivision.
 - (1) The property owner shall pay pro-rata equipment fees of \$30,723.00 (*i.e. \$931.00 x 33 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$32,472.00 (*i.e. \$984.00 x 33 Lots*), which will be due prior to the issuance of a building permit.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for Phase 3 of the *Saddle Star Estates South Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) The final plat of land shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS John King Blvd & Hays Lane

SUBDIVISION Saddle Star Phase 3

LOT

BLOCK

GENERAL LOCATION Along John King Blvd, City of Rockwall, Rockwall County, TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-79

CURRENT USE Agricultural

PROPOSED ZONING PD-79

PROPOSED USE Single Family

ACREAGE 14.995

LOTS [CURRENT] 1

LOTS [PROPOSED] 33 SF/3 Open

- SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CDT ROCKWALL/2017, LLC

APPLICANT CDT ROCKWALL/2017, LLC

CONTACT PERSON Pat Atkins

CONTACT PERSON Pat Atkins

ADDRESS 6925 FM 2515

ADDRESS 6925 FM 2515

CITY, STATE & ZIP Kaufman, Tx 75142

CITY, STATE & ZIP Kaufman, TX 75142

PHONE 972-388-6383

PHONE 972-388-6383

E-MAIL kpatatkins@yahoo.com

E-MAIL kpatatkins@yahoo.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

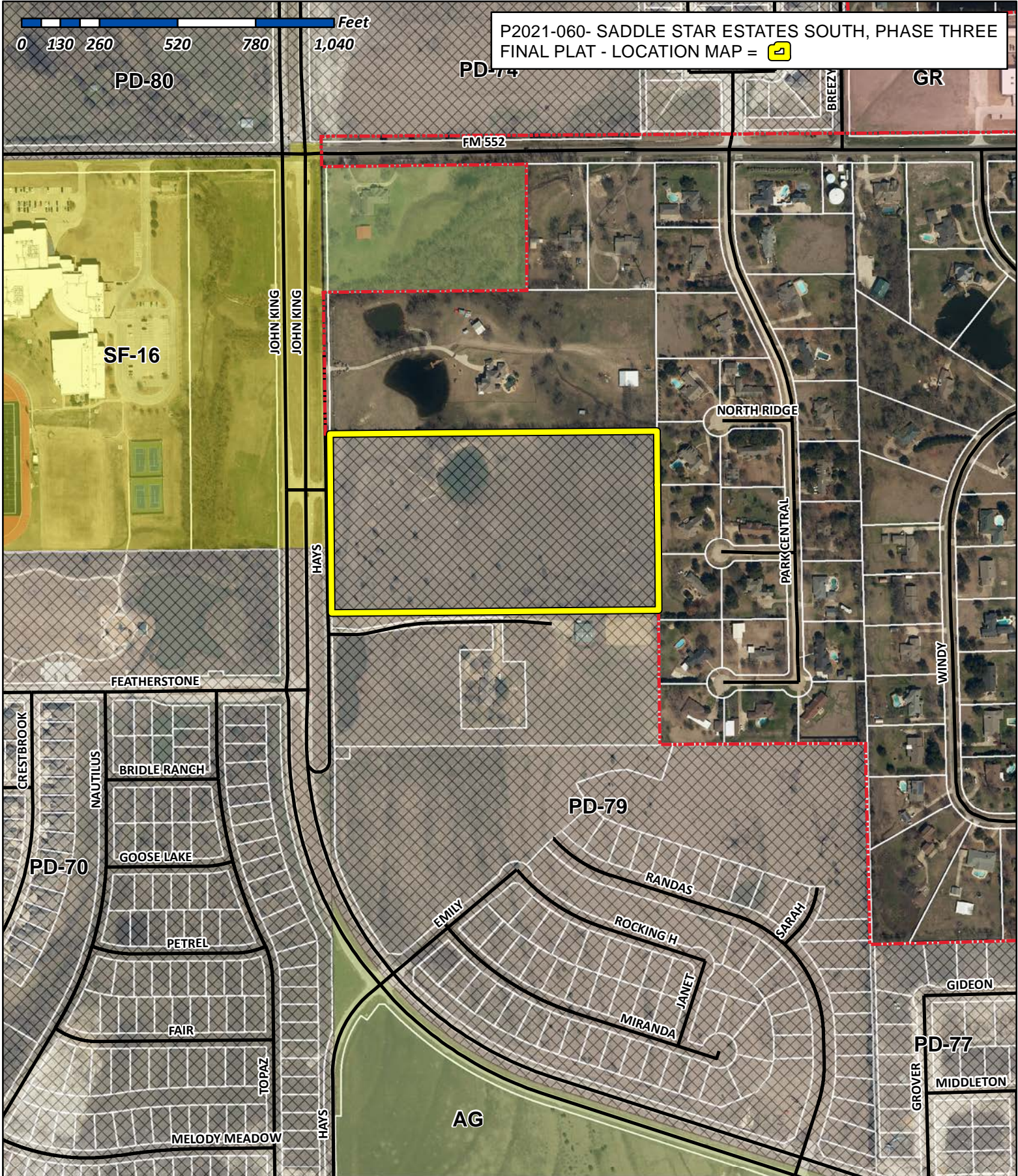
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 599.90 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9th DAY OF November, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____

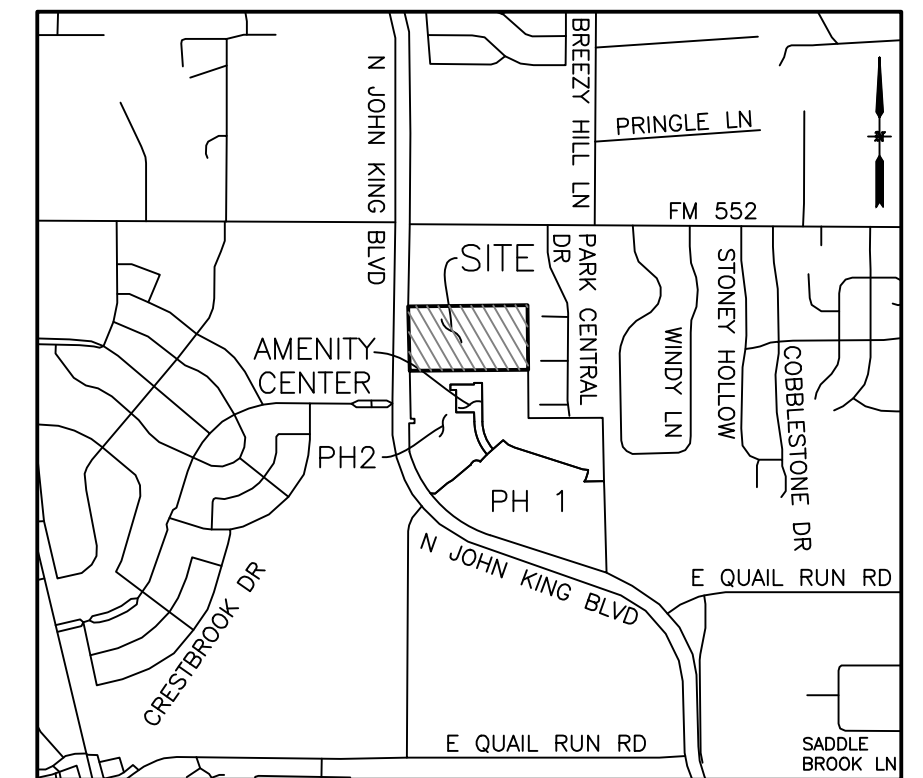
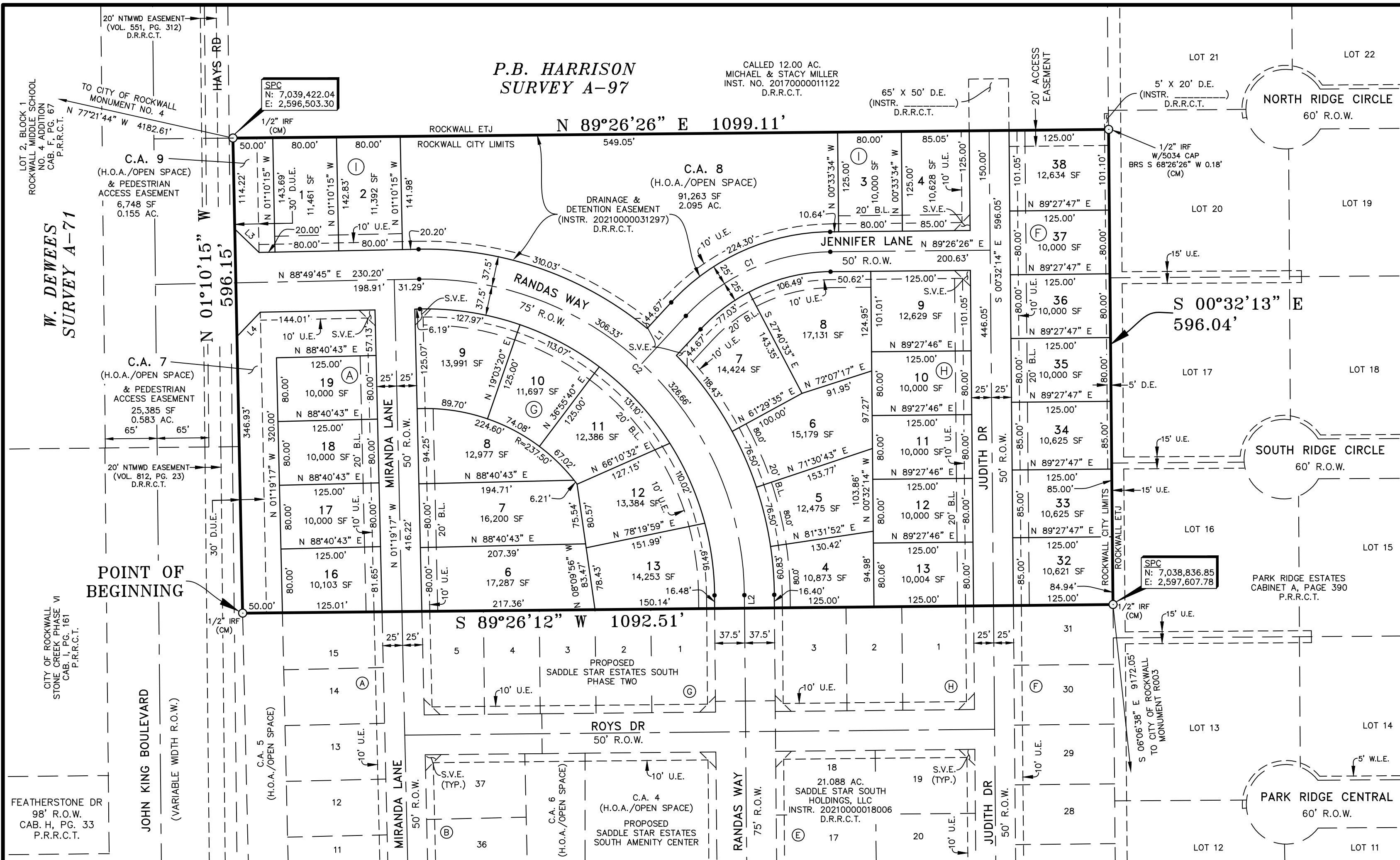


City of Rockwall

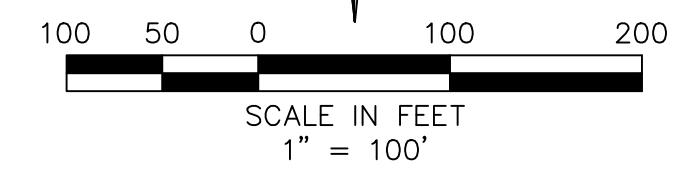
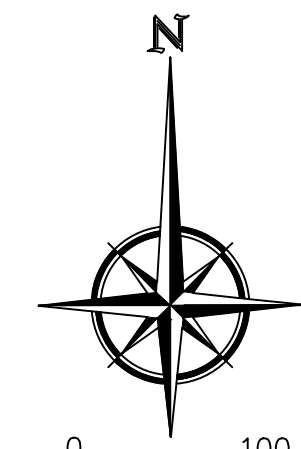
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 42°42'28" W	81.46'
L2	N 00°30'07" W	16.44'
L3	S 46°10'15" E	42.43'
L4	S 43°49'45" W	42.43'

- Notes:
- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
 - A 5/8" iron rod with a yellow cap stamped "RPLS 3963" will be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
 - By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 - All light poles and appurtenances, non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - The Access Easement in Lot 38, Block F and the Open Space Lots will be maintained by the Homeowners Association (HOA).
 - On-site and off-site Drainage Easements, Detention Easements and drainage/detention facilities will be maintained, repaired and replaced by the HOA.
 - The HOA/Property Owner is responsible for maintaining and repairing all Open Space/Greenbelt Lots/Areas and Drainage Easements.

Note:
The homeowners Association is responsible for maintaining all light poles and appurtenances, non-standard decorative signs, poles/post, hardware or other non-standard items. The City of Rockwall has no maintenance or other responsibility related to these items. The City of Rockwall and the Homeowners Association agree the association will bear any and all maintenance cost related to the said improvements. The City has the statutory authority to install and maintain Traffic Control Devices for vehicular traffic on public streets/roads within the public Right of Way. This agreement in no way constitutes a change in that authority and does not constitute and delegation of that authority of the Association.

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	46°43'58"	250.00'	108.01'	203.91'	S 66°04'27" W	198.30'
C2	90°40'08"	400.00'	404.70'	632.99'	N 45°50'11" W	568.98'

LEGEND	
IRF	IRON ROD FOUND
B.L.	BUILDING SETBACK LINE
CM	CONTROL MONUMENT
D.E.	DRAINAGE EASEMENT
HOA	HOMEOWNERS ASSOCIATION
S.V.E.	20'x20' SIDEWALK AND VISIBILITY EASEMENT
D.U.E.	DRAINAGE & UTILITY EASEMENT
U.E.	UTILITY EASEMENT
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS

ZONING DISTRICT: PD-79
OPEN SPACE = 2.853 AC.
33 DWELLING UNITS
2.20 UNITS PER ACRE

OWNERS
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

FINAL PLAT

**SADDLE STAR ESTATES
SOUTH, PHASE THREE**

33 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
14.995 ACRES
SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098
(972) 941-8400 FAX (972) 941-8401

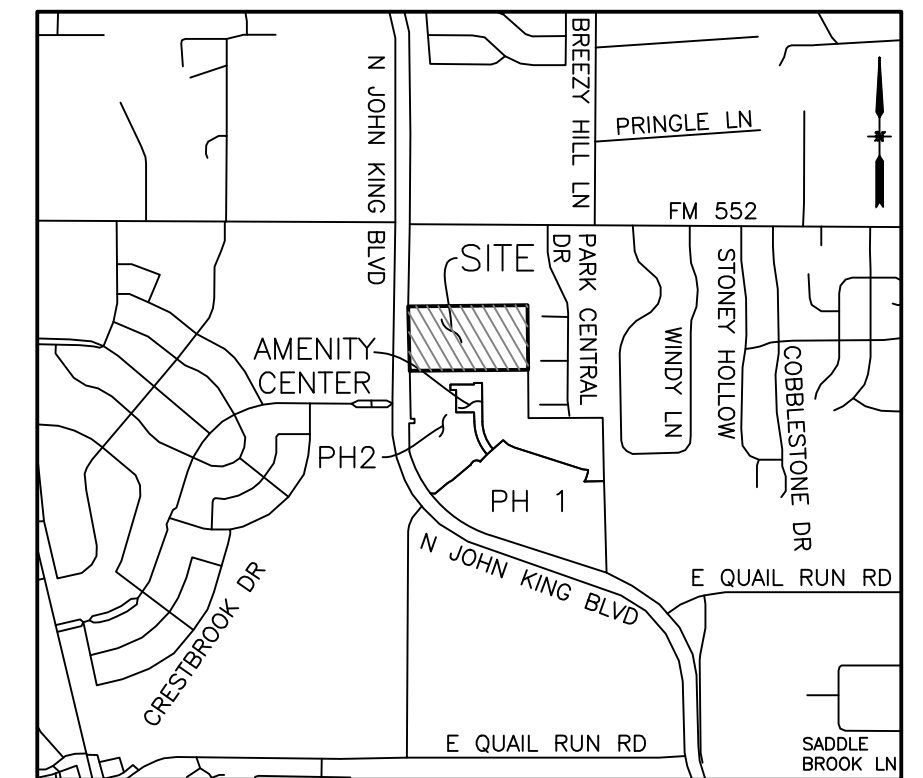
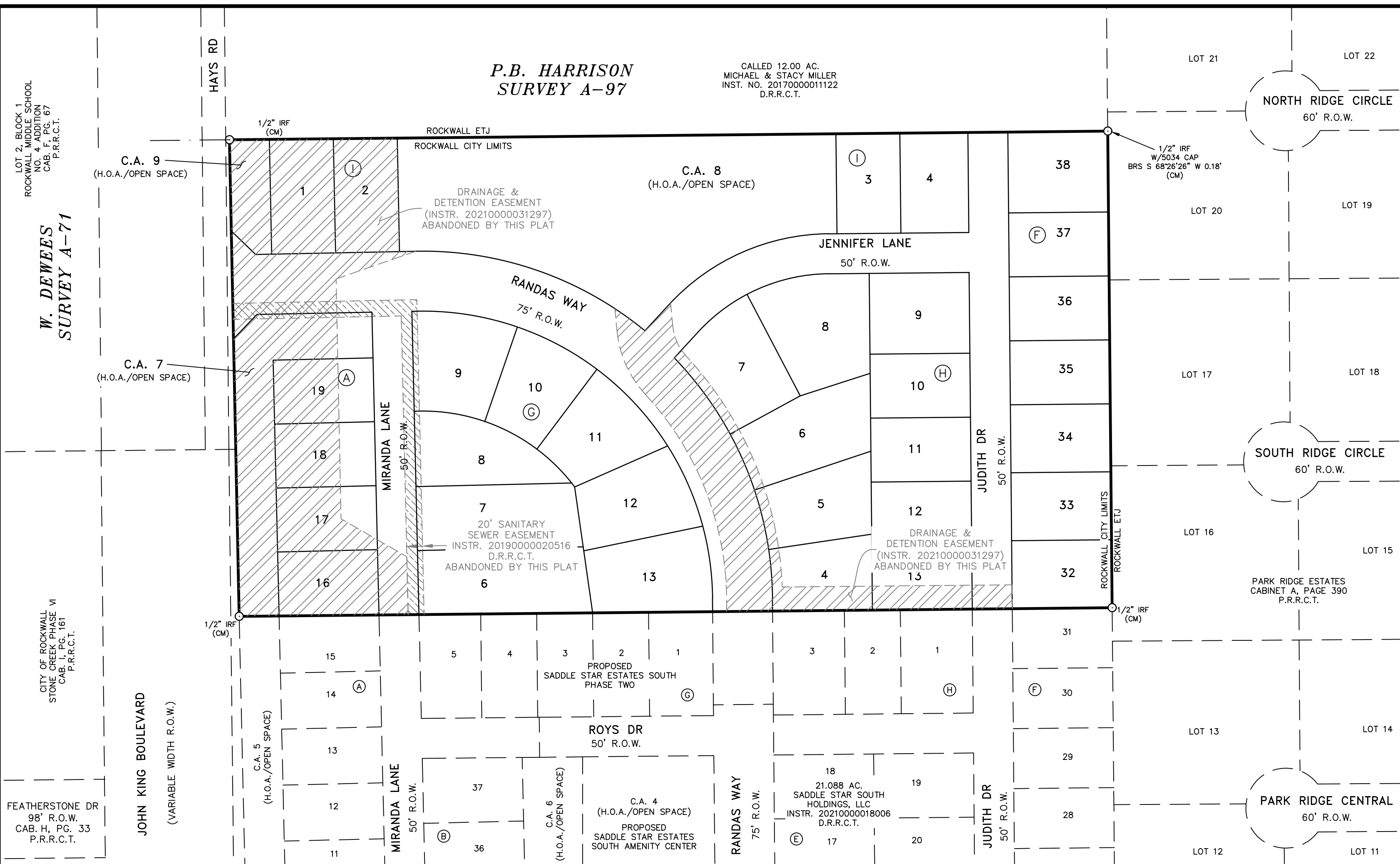
DATE: 11/30/2021
DATE: 11/22/2021

CASE #: P2021-060

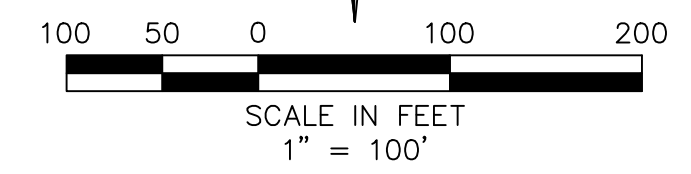
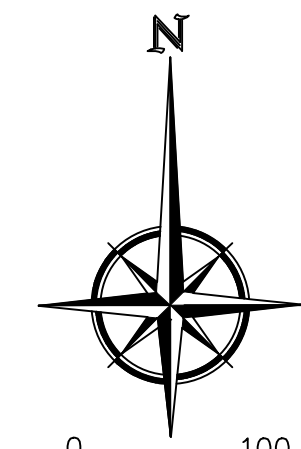
SHEET 1 OF 3

**P.B. HARRISON
SURVEY A-97**

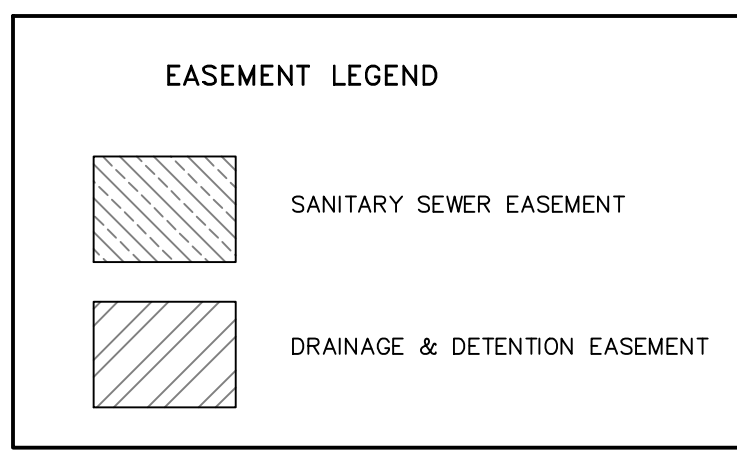
CALLED 12.00 AC.
MICHAEL & STACY MILLER
INST. NO. 20170000011122
D.R.R.C.T.



VICINITY MAP
N.T.S.



LEGEND	
IRF	IRON ROD FOUND
B.L.	BUILDING SETBACK LINE
CM	CONTROL MONUMENT
D.E.	DRAINAGE EASEMENT
HOA	HOMEOWNERS ASSOCIATION
S.V.E.	20'x20' SIDEWALK AND VISIBILITY EASEMENT
D.U.E.	DRAINAGE & UTILITY EASEMENT
U.E.	UTILITY EASEMENT
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS



ZONING DISTRICT: PD-79
OPEN SPACE = 2.853 AC.
33 DWELLING UNITS
2.20 UNITS PER ACRE

OWNERS
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

FINAL PLAT
**SADDLE STAR ESTATES
SOUTH, PHASE THREE**
33 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
14.995 ACRES
SITUATED IN THE
P.B. HARRISON SURVEY, A-97
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ENGINEERING CONCEPTS & DESIGN, L.P.
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TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098
(972) 941-8400 FAX (972) 941-8401

DATE: 11/30/2021
DATE: 11/22/2021
CASE #: P2021-060
SHEET 2 OF 3

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS CDT ROCKWALL/2017, LLC, BEING THE OWNER OF a 14.995 acre tract of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being all of a called 15.00 acre tract of land described in deed to CDT Rockwall/2017, LLC, recorded in Instrument 2018000016747, Deed Records, Rockwall County, Texas (DRRCT), said 14.995 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found in the original Hays Road at the common west corner of said 15.00 acre tract and a called 9.127 acre tract of land described in deed to Gwendolyn Reed, recorded in Instrument 2016000002283, DRRCT;

THENCE North 01 degrees 10 minutes 15 seconds West, along and within said Hays Road and with the west line of said 15.00 acre tract, a distance of 596.15 feet, to a 1/2-inch iron rod found at the northwest corner thereof, common to the southwest corner and a called 12.00 acre tract of land described in deed to Michael and Stacy Miller, recorded in Instrument 2017000001122;

THENCE North 89 degrees 26 minutes 26 seconds East, along the common line of last mentioned tracts, a distance of 1099.11 feet to a point for corner at the common east corner thereof, and also being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390, Plat Records, Rockwall County, Texas, from which a 1/2-inch iron rod with a yellow cap stamped 5034 bears South 68 degrees 26 minutes 26 seconds West, a distance of 0.18 feet;

THENCE South 00 degrees 32 minutes 13 seconds East, along the common line of said 15.00 acre tract and said Park Ridge Estates, a distance of 596.04 feet, to a 1/2-inch iron rod found at the southeast corner thereof, common to the northeast corner of said 9.127 acre tract;

THENCE South 89 degrees 26 minutes 12 seconds West, along the common line of last mentioned tracts, a distance of 1092.51 feet to the POINT OF BEGINNING AND CONTAINING 653,191 square feet or 14.995 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

CDT ROCKWALL/2017, LLC, the undersigned owner of the land shown on this plat, and designated herein as the SADDLE STAR ESTATES SOUTH, PHASE THREE, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicates to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. CDT ROCKWALL/2017, LLC further certifies that all other parties who have a mortgage or lien interest in the SADDLE STAR ESTATES SOUTH, PHASE THREE subdivision have been notified and signed this plat. CDT ROCKWALL/2017, LLC understands and does hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. CDT ROCKWALL/2017, LLC also understands the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

CDT ROCKWALL/2017, LLC further acknowledges that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; CDT ROCKWALL/2017, LLC, it's successors and assigns hereby waive any claim, damage, or cause of action that CDT ROCKWALL/2017, LLCC may have as a result of the dedication of exactions made herein.

FOR: CDT ROCKWALL/2017, LLC

By: _____
NAME:
TITLE:

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2021.

Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

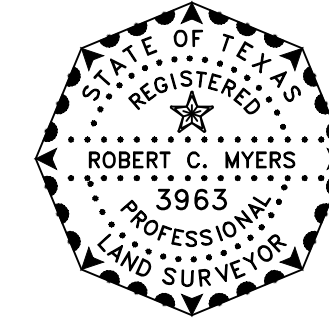
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 2021.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This final plat is released on May 25, 2021 for review by the City and other parties for comments and progression to an approved Final Plat.

ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2021.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

FINAL PLAT

SADDLE STAR ESTATES
SOUTH, PHASE THREE

ZONING DISTRICT: PD-79
OPEN SPACE = 2.853 AC.
33 DWELLING UNITS
2.20 UNITS PER ACRE

33 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
14.995 ACRES

OWNERS
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142

SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098
(972) 941-8400 FAX (972) 941-8401

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

DATE: 11/30/2021
DATE: 11/22/2021

CASE #: P2021-060

SHEET 3 OF 3



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Planner*

DATE: December 14, 2021

SUBJECT: SP2021-034; *Site Plan for Phase 3 of the Saddle Star Estates South Subdivision*

The applicant, Pat Atkins of CDT Rockwall 2017, LLC, is requesting the approval of a site plan for Phase 3 of the Saddle Star Estates South Subdivision. The subject property is a 14.995-acre tract of land (*Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97*) generally located northeast of the intersection of John King Boulevard and Featherstone Drive. Following the development schedule outlined in Planned Development District 79 (PD-79), Phase 3 of the Saddle Star Estates South Subdivision has been approved for a *Master Plat* [Case No. P2020-006] and *Preliminary Plat* [Case No. P2019-047]. It should be noted that concurrently with the site plan request the applicant has submit a *Final Plat* [Case No. P2021-060]. As part of this case the applicant has submitted a site plan, a landscape plans, and a treescape plan for the proposed phase.

The submitted site plan, landscape plan, and treescape plan conform to the technical requirements contained within Planned Development District 79 (PD-79) and the Unified Development Code (UDC). The site plan indicates a five (5) foot interior sidewalk, a ten (10) foot curvilinear sidewalk along John King Boulevard, and at least two (2) trees per lot. The screening and buffer plans show three (3) canopy and four (4) accent trees per 100 linear feet of frontage along John King Boulevard -- *per the requirements within Planned Development District 79 (PD-79)* -- as well as a berm. Included in the screening and landscape plans are the hardscape details for the entry monument signage and the ornamental fence that spans along John King Boulevard. The treescape plan depicts 338 caliper inches of trees will be removed during the construction of Phase 3 of the Saddle Star Estates South Subdivision. This plan also shows that 460 caliper inches of trees (*i.e. 115, four [4] inch caliper trees*) will be planted, reducing the total mitigation balance to zero (0). Based on the site plan conforming with all applicable technical requirements of Planned Development District 79 (PD-79) and the Unified Development Code (UDC), this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the December 14, 2021 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS John King Blvd & Hays Lane

SUBDIVISION Saddle Star Phase 3

LOT

BLOCK

GENERAL LOCATION Along John King Blvd, City of Rockwall, Rockwall County, TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-79

CURRENT USE Agricultural

PROPOSED ZONING PD-79

PROPOSED USE Single Family

ACREAGE 14.995

LOTS [CURRENT] 1

LOTS [PROPOSED] 33 SF/3 Open

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CDT ROCKWALL/2017, LLC

APPLICANT CDT ROCKWALL/2017, LLC

CONTACT PERSON Pat Atkins

CONTACT PERSON Pat Atkins

ADDRESS 6925 FM 2515

ADDRESS 6925 FM 2515

CITY, STATE & ZIP Kaufman, Tx 75142

CITY, STATE & ZIP Kaufman, TX 75142

PHONE 972-388-6383

PHONE 972-388-6383

E-MAIL kpatatkins@yahoo.com

E-MAIL kpatatkins@yahoo.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

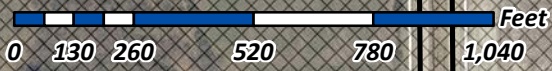
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 549.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9th DAY OF November, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

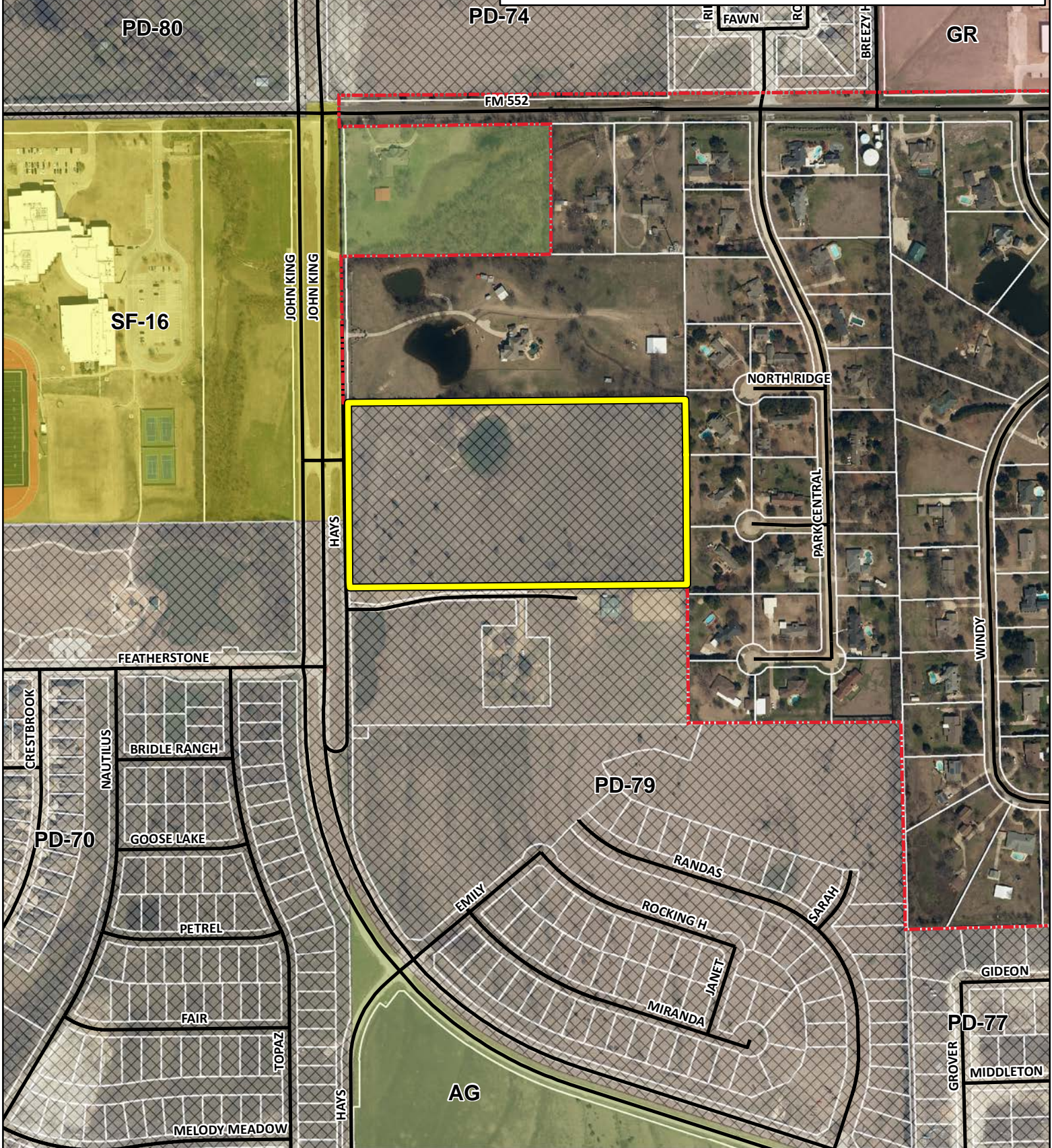
OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



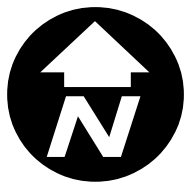
SP2021-034- SADDLE STAR ESTATES SOUTH, PHASE THREE
SITE PLAN - LOCATION MAP =

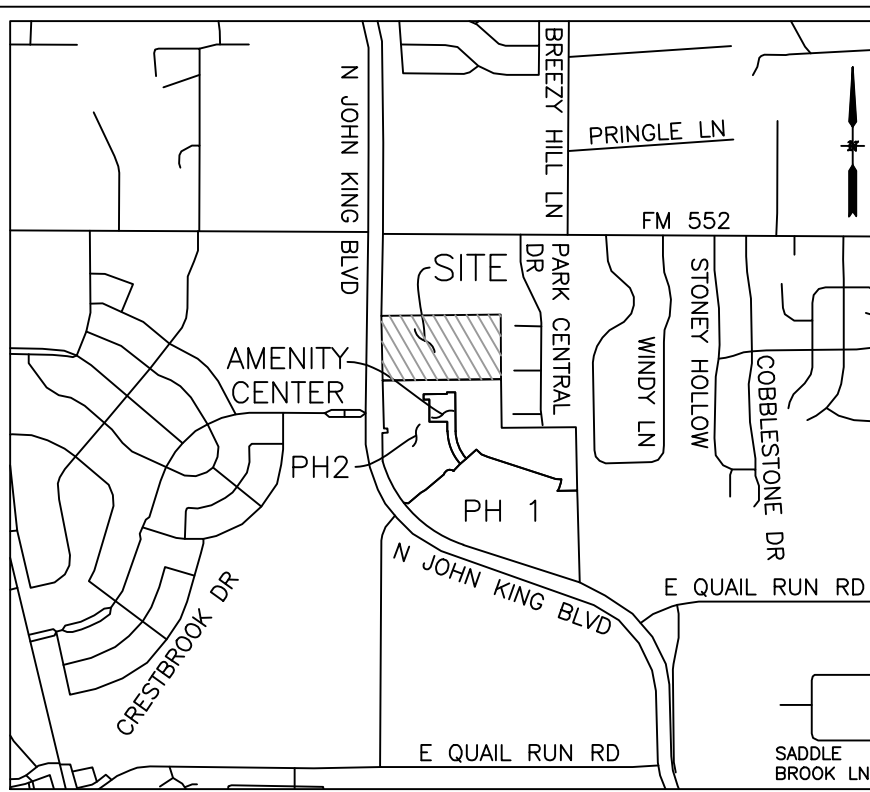


City of Rockwall

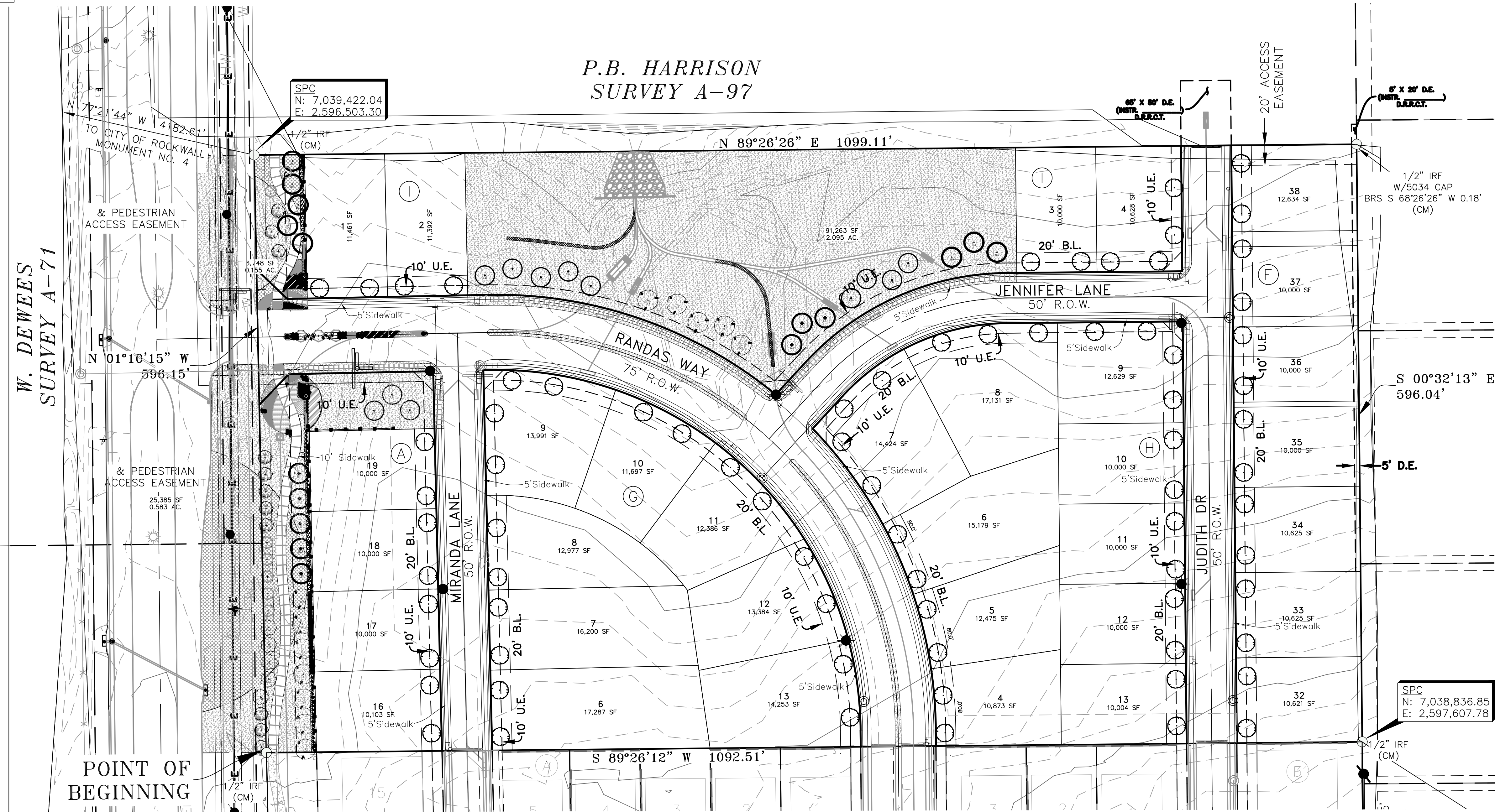
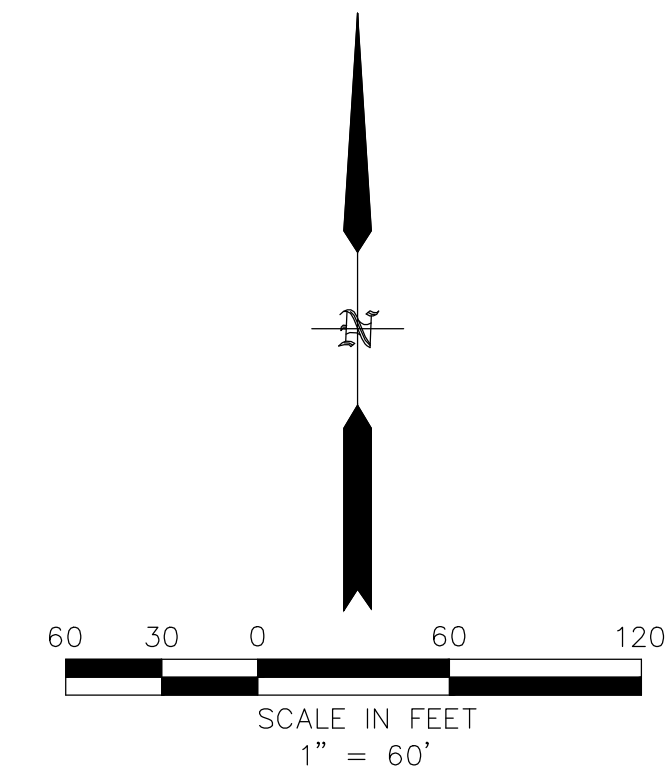
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



- SADDLE STAR SOUTH PHASE 3
PLANT LEGEND**
- 8 - 4" LIVE OAK
 - 12 - 4" SHUMARD OAK
 - 8 - 4" BUR OAK
 - 12 - 4" CEDAR ELM
 - 9 - 2" TEXAS REDBUD
 - 7 - 2" CHASTE TREE
 - 4 - 2" NATCHEZ CRAPE MYRTLE
 - 75 - 3" CANOPY TREE (BY BUILDER)

LEGEND

EXISTING TREE

- EXISTING TREE
- PROPOSED 4" CANOPY TREE
(Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)
- PROPOSED 3" CANOPY TREE
(Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)
- PROPOSED 3" EASTERN RED CEDAR
- PROPOSED 2" ORNAMENTAL TREE
(Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel and Desert Willow)

- BERMUDA GRASS - 36,555 SF
- NATIVE GRAVEL - 730 SF
- BUFFALO GRASS - 108346 SF
- WEEPING LOVE GRASS - 380 G
- TEXAS RIVER ROCK MIX - 542 SF
- LIRIOPAPE GRASS - 111 G
- GULF MUHLY GRASS - 413 G
- OKLAHOMA MOSS BOULDERS - 4T

LEGEND

- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- CM CONTROL MONUMENT
- D.E. DRAINAGE EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- S.V.E. 20'x20' SIDEWALK AND VISIBILITY EASEMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS

BENCHMARK:
 BM#1 (#102)
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58
 BM#2 (#104)
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD AT THE TURN IN LANE FOR HAYS ROAD. THE MONUMENT #104 IS LOCATED 22' TO THE SOUTHWEST OF THE BEGINNING OF THE LEFT TURNING LANE ON JOHN KING BLVD. ELEVATION = 538.47
 BM#3 (#106)
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT. ELEVATION = 557.33'

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2021.

WITNESS OUR HANDS, this ___ day of ___, 2021.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

SADDLE STAR PHASE 3 SITE PLAN DATA

- a. 14.995 Acres
- b. PD-79 Zoning
- c. 33 Dwelling Units
- d. 2.853 Acres Open Space
- e. All Common Areas/Open Space to be maintained by the H.O.A.
- f. Denotes Street Lights 20' Maximum Height
- g. Denotes Stop Sign & Street Names

ZONING DISTRICT: PD-79
 OPEN SPACE = 2.853 AC.
 33 DWELLING UNITS
 2.20 UNITS PER ACRE

OWNERS
CDT ROCKWALL/2017, LLC
 6925 FM 2515
 KAUFMAN, TX 75142

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcmsurveying@gmail.com
 FIRM NO. 10192300 JOB NO. 355

SITE PLAN
SADDLE STAR ESTATES
SOUTH, PHASE THREE

33 SINGLE FAMILY LOTS
 3 COMMON AREA TRACT
 14.995 ACRES
 SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYILE, TX 75098
 (972) 941-8400 FAX (972) 941-8401

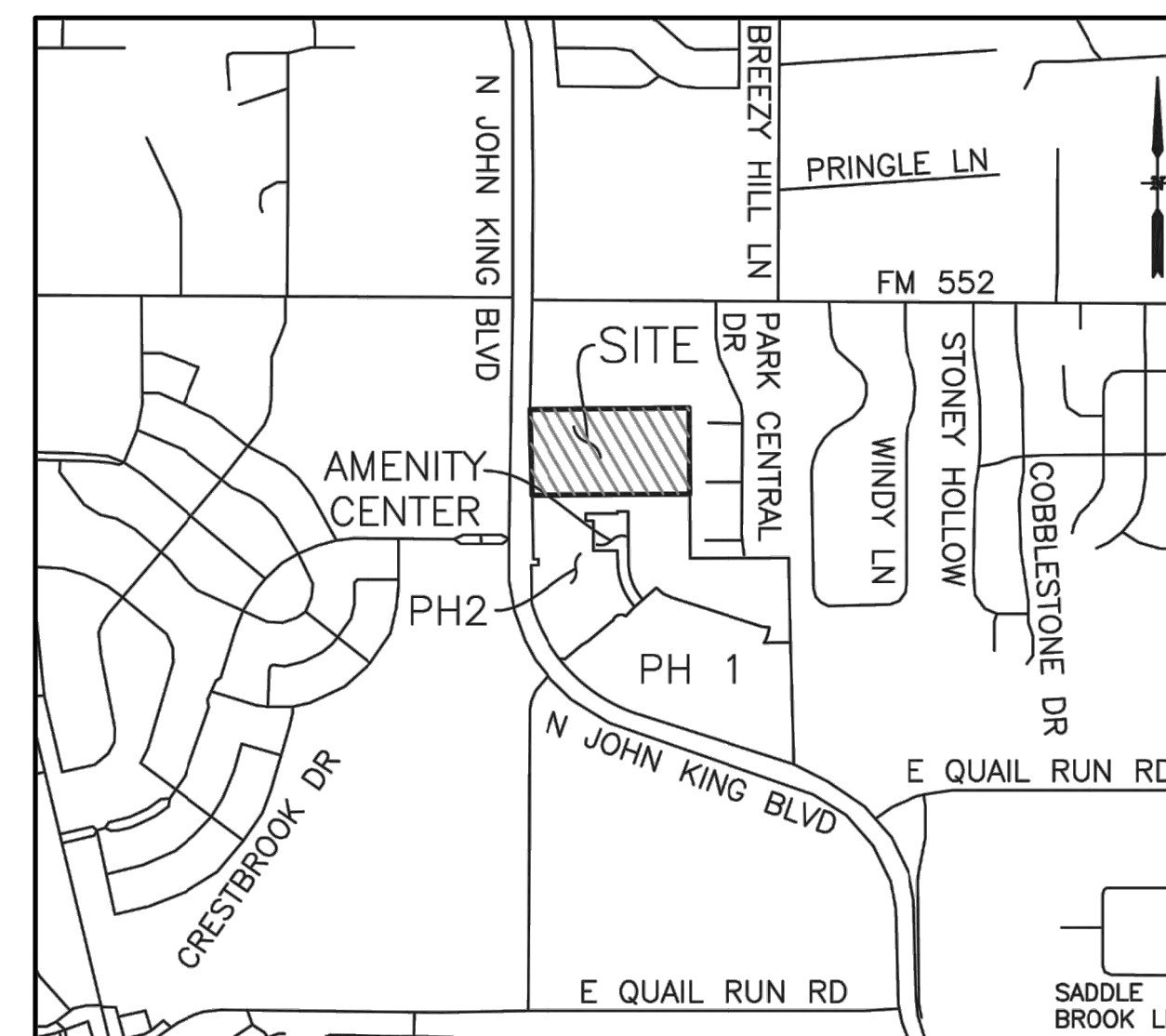
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUFFICIENT EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, AND TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~SADDLE STAR SOUTH - PH3~ CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: September 21, 2021



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
HS1	OVERALL LAYOUT PLAN
HS2-HS4	HARDSCAPE PLANS
HS5-HS6	HARDSCAPE DETAILS
L1-L4	LANDSCAPE PLANS
L5-L6	LANDSCAPE DETAILS
IR1-IR4	IRRIGATION PLANS
IR5-IR6	IRRIGATION DETAILS

GENERAL LANDSCAPE NOTES:

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR Hauled OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

OWNER / DEVELOPER:
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVENUE
SUITE 4200W
DALLAS, TEXAS 75201
PH. (972) 716-2900
CONTACT: PAT ATKINS

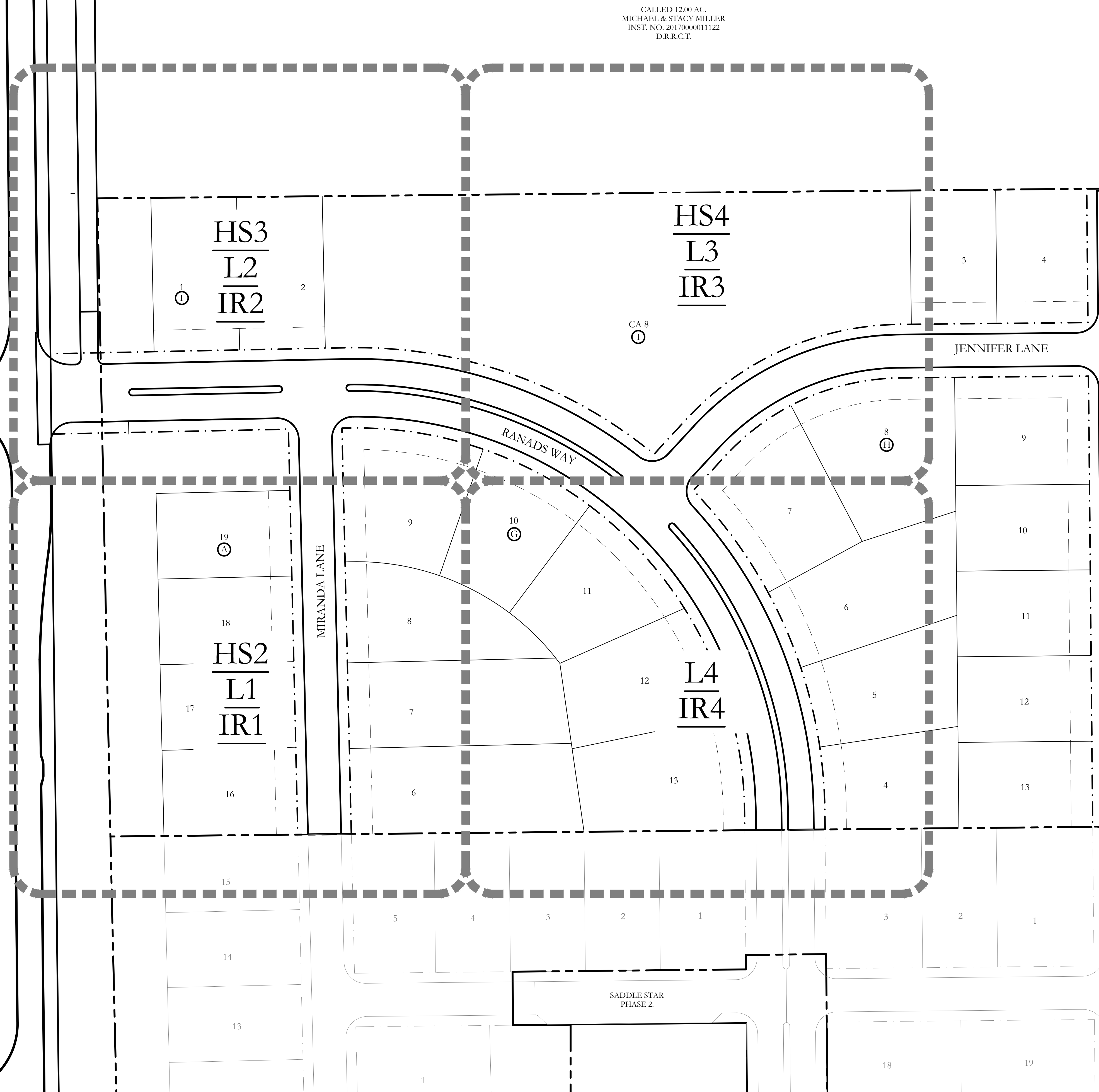
CIVIL ENGINEER:
ENGINEERING CONCEPTS & DESIGN, LP
201 WINDCO CIRCLE
SUITE 200
WYLIE, TEXAS 75098
PH. (972) 941-8400
CONTACT: RYAN KING

LANDSCAPE ARCHITECT:
CODY JOHNSON STUDIO, LLC
9720 COIT ROAD SUITE 220-333
PLANO, TEXAS 75025
PH. (903) 570-0162
CONTACT: CODY JOHNSON, RLA, ASLA, LI



CITY OF ROCKWALL
STONE CREEK PHASE VI
CAB. I, PG. 161
P.R.R.C.T.

JOHN KING BOULEVARD



CALLED 12.00 AC.
MICHAEL & STACY MILLER
INST. NO. 20170000011122
D.R.R.C.T.

CA 8

JENNIFER LANE

RANADS WAY

JUDITH DR.

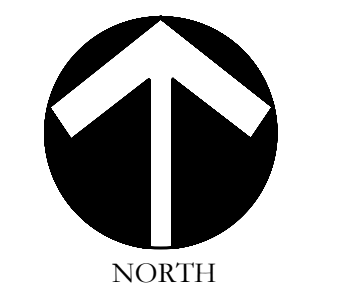
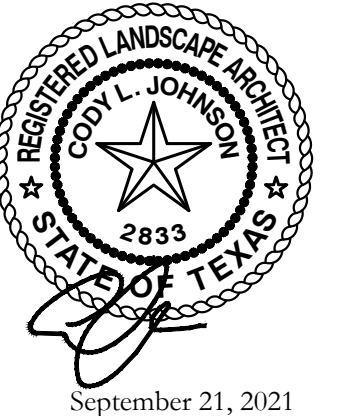
HS3
L2
IR2

HS4
L3
IR3

HS2
L1
IR1

L4
IR4

CODY JOHNSON
s.t.u.d.i.o



Scale: 1" = 50'-0"





Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

SCREENING AND BUFFERING
Overall Layout Plan
Saddle Star South - Phase 3
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
PAD001B
SHEET NO.
HS1 of 6


MATCHLINE
 REF: SHEET HS3, L2, IR2
 REF: SHEET HS2, L1, IR1

HARDSCAPE LEGEND

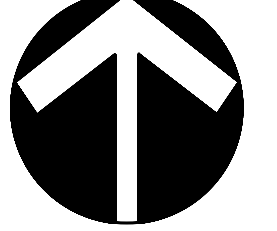
-  6'-0" HT. ENTRY SIGN WALL. REFER TO DETAILS 1,2&3/HS5.
-  14'-0" HT. STONE ENTRY TOWER. REFER TO DETAILS 1&4/HS5.
-  7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&3/HS6.
-  6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&2/HS6.

CODY JOHNSON
 s.t.u.d.i.o

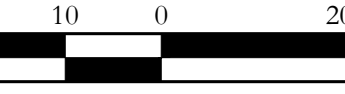
9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025
 PH. (972) 570-0162
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

September 21, 2021



NORTH



Scale: 1" = 20'-0"

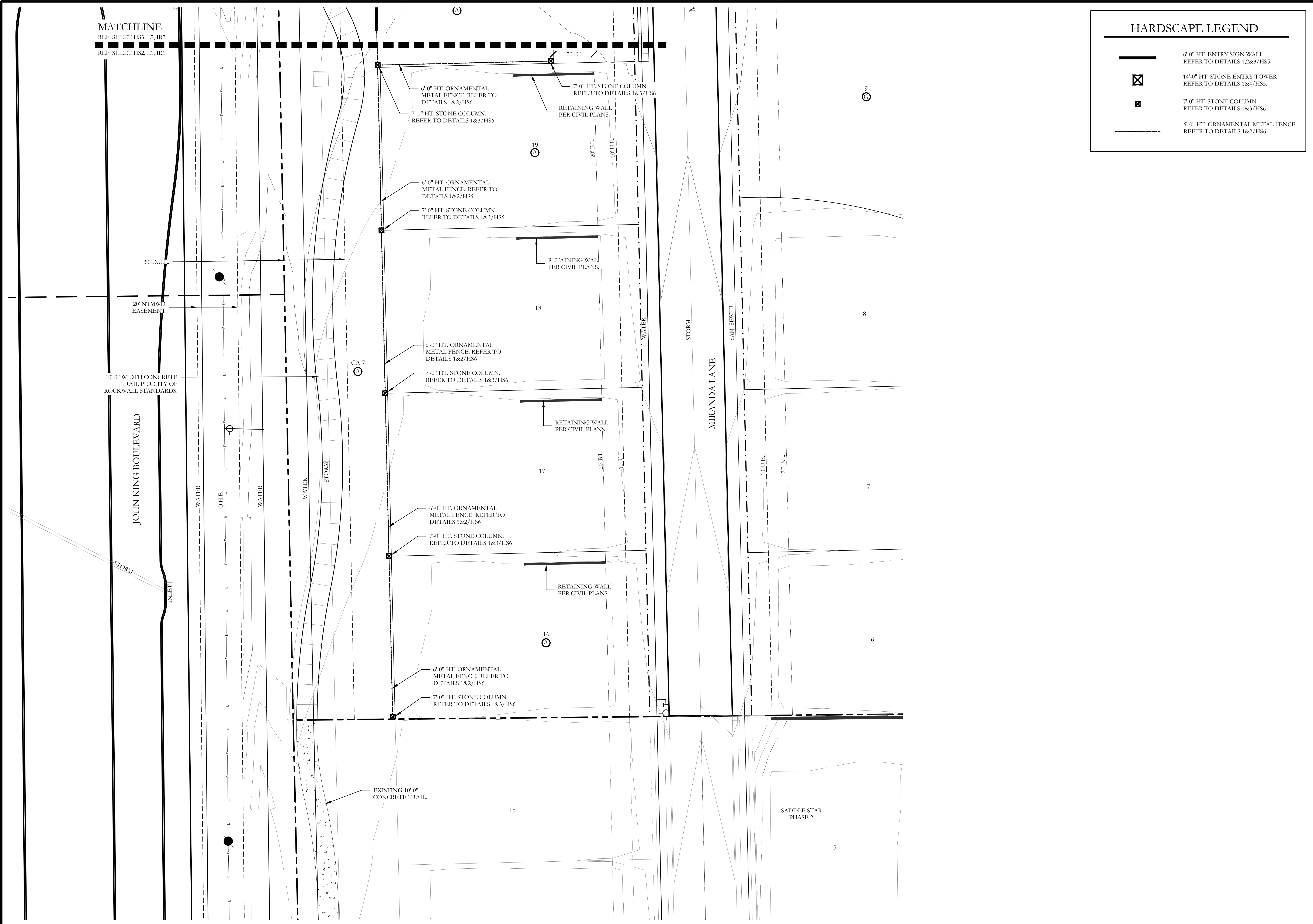
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING
 Hardscape Plans
 Saddle Star South - Phase 3
 City of Rockwall, Rockwall County, Texas





CJS PROJECT NO.
PAD001B

SHEET NO.
HS2 of 6

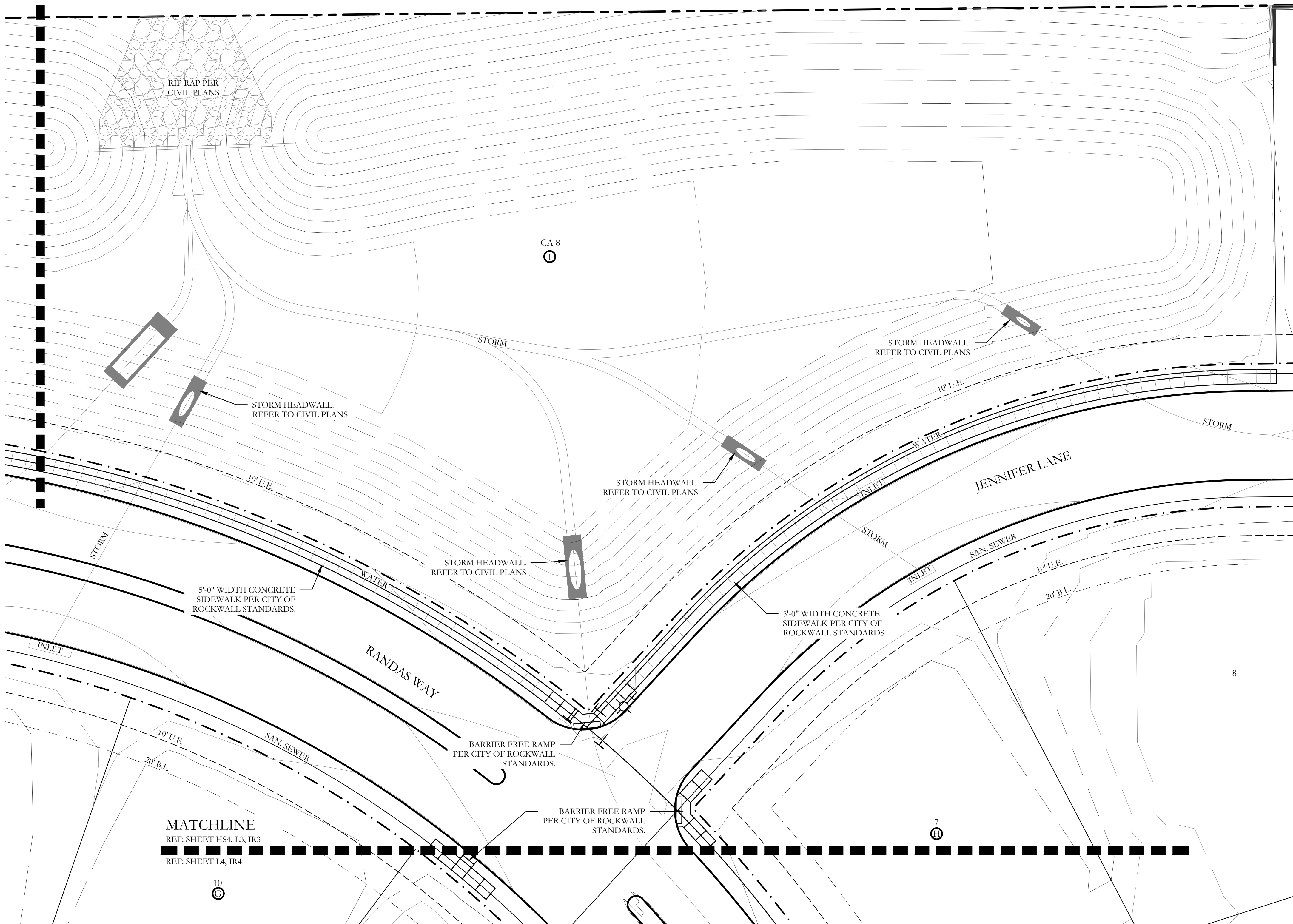


CALLED 12.00 AC.
MICHAEL & STACY MILLER
INST. NO. 2017000011122
D.R.R.C.T.

HARDSCAPE LEGEND

-  6'-0" HT. ENTRY SIGN WALL.
REFER TO DETAILS 1,2&3/HS5.
-  14'-0" HT. STONE ENTRY TOWER
REFER TO DETAILS 1&4/HS5.
-  7'-0" HT. STONE COLUMN.
REFER TO DETAILS 1&5/HS6.
-  6'-0" HT. ORNAMENTAL METAL FENCE
REFER TO DETAILS 1&2/HS6.

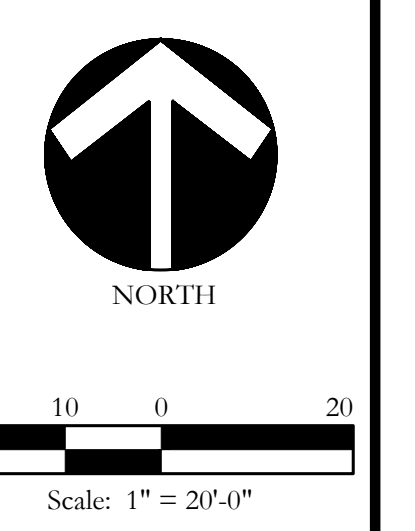
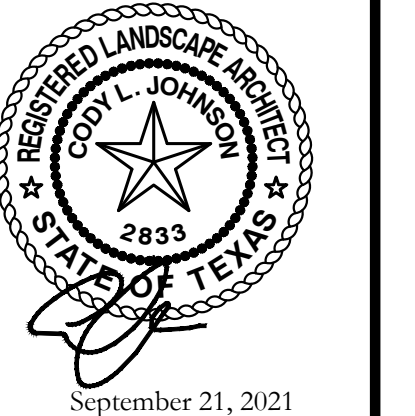
MATCHLINE
REF: SHEET HS1, L2, IR2
REF: SHEET HS4, L3, IR3



MATCHLINE
REF: SHEET HS4, L3, IR3
REF: SHEET L4, IR4

CODY JOHNSON
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9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025
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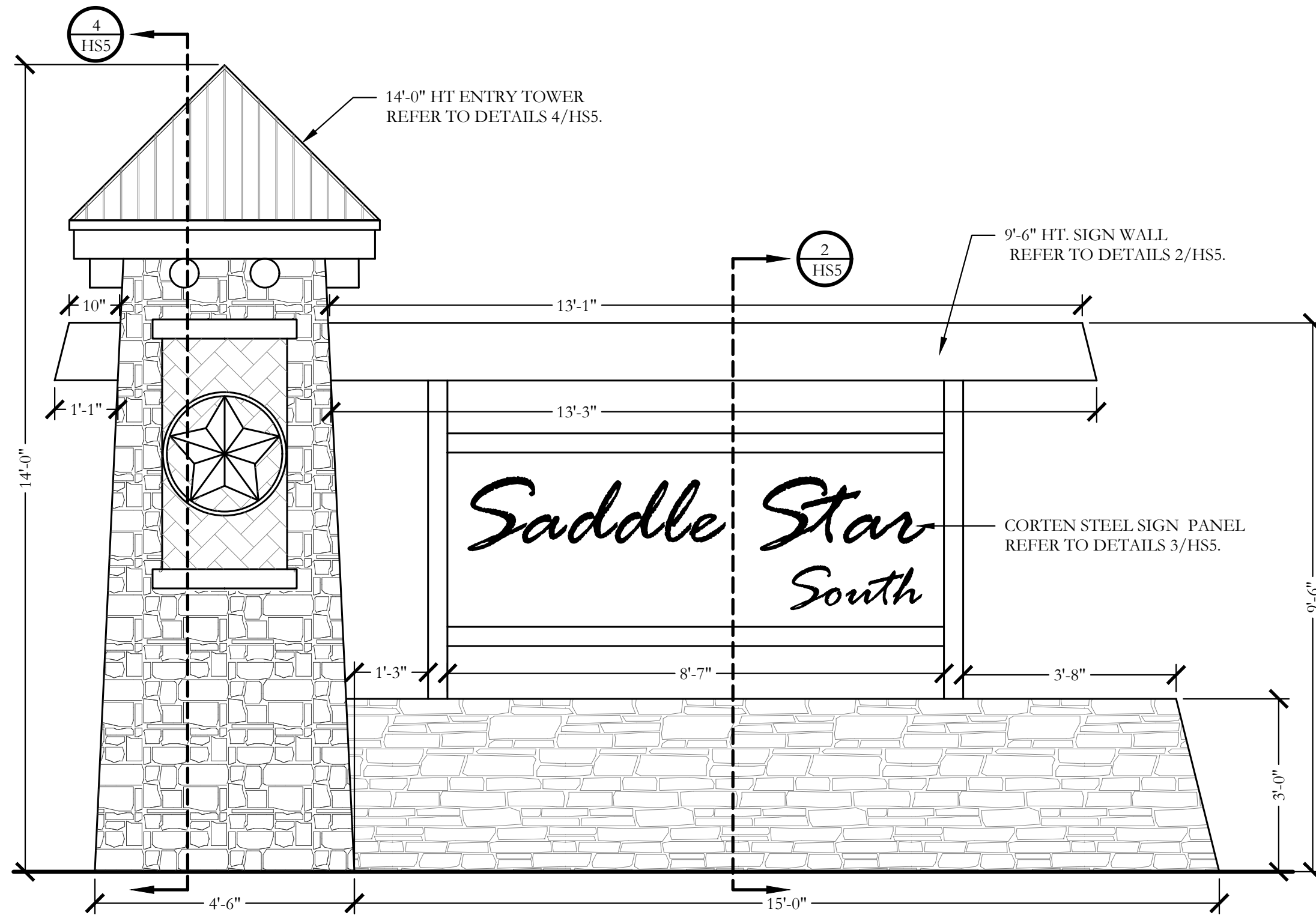


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One Inch

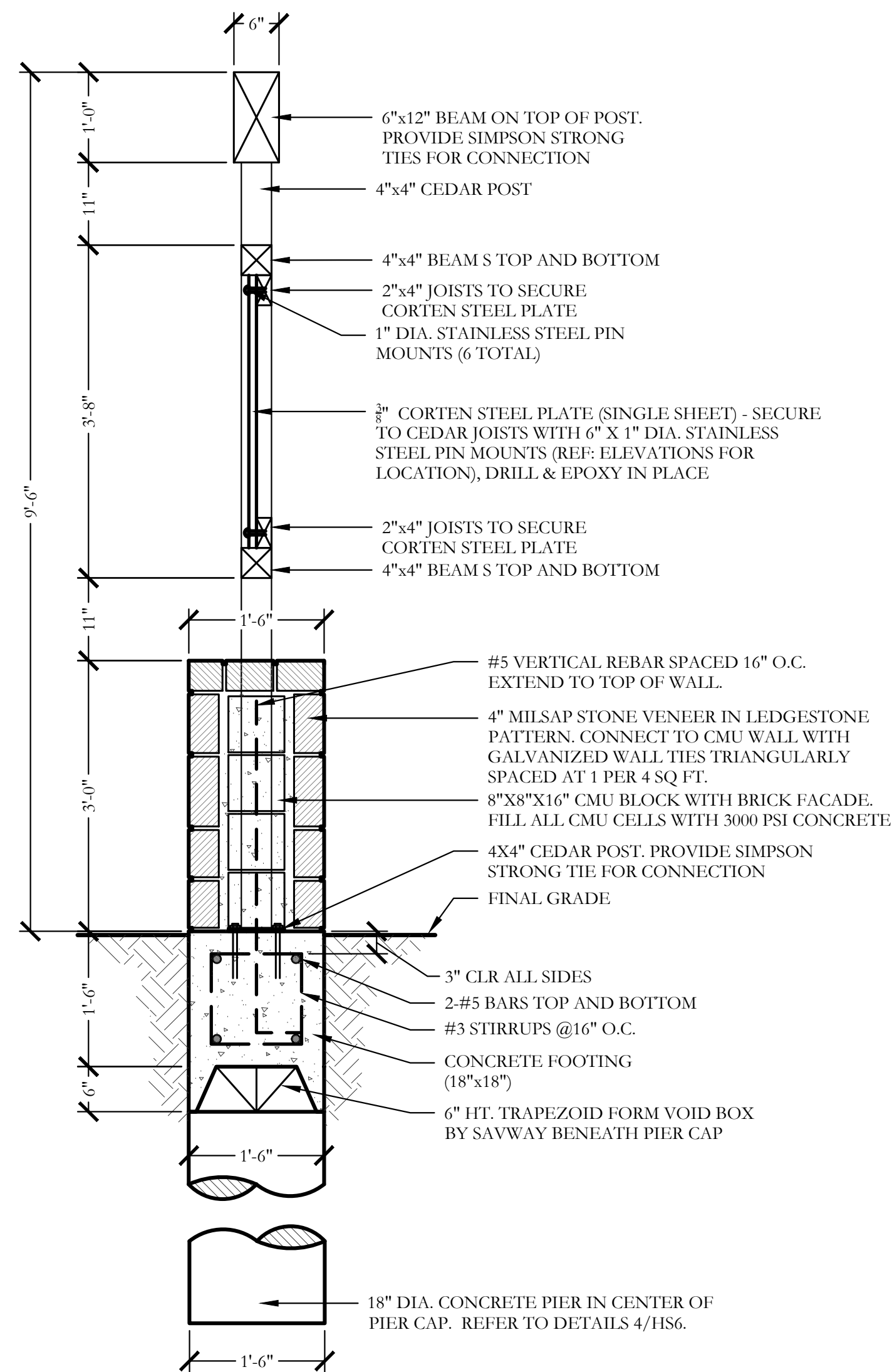
SCREENING AND BUFFERING
Hardscape Plans
Saddle Star South - Phase 3
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
PAD001B
SHEET NO.
HS4 of 6



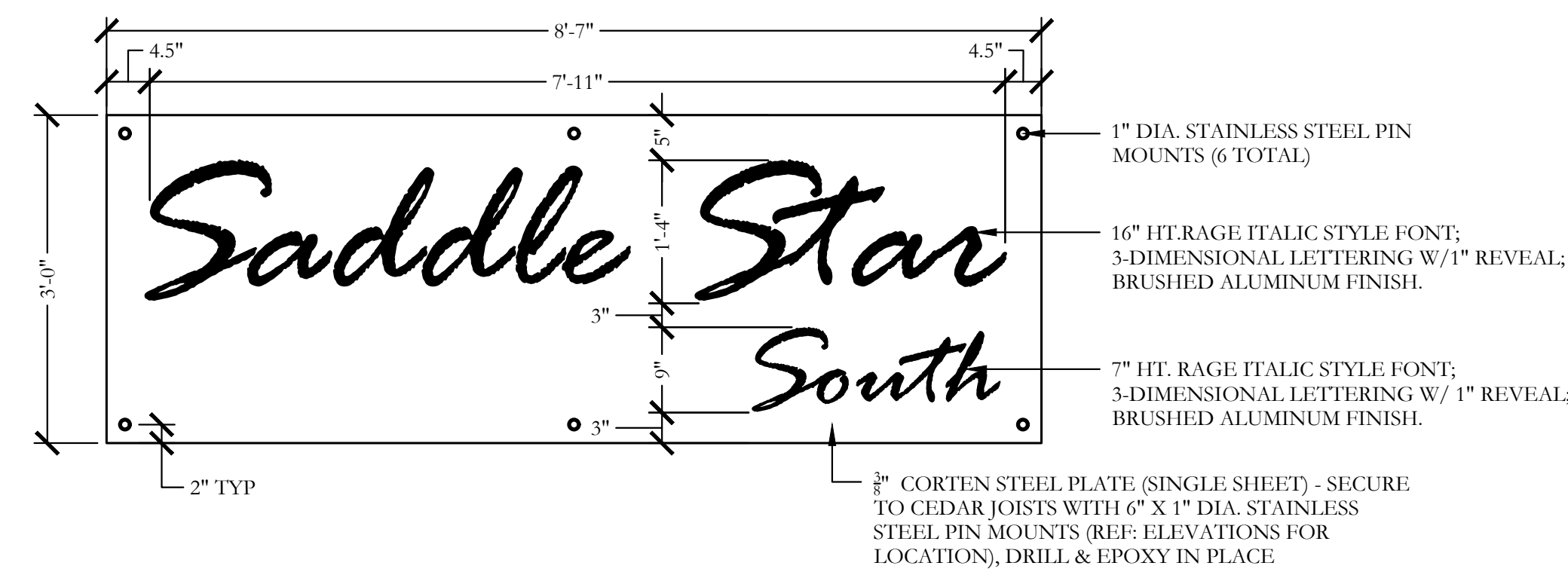
1 ENTRY SIGN MONUMENT
ELEVATION

SCALE: 1/2" = 1'-0"



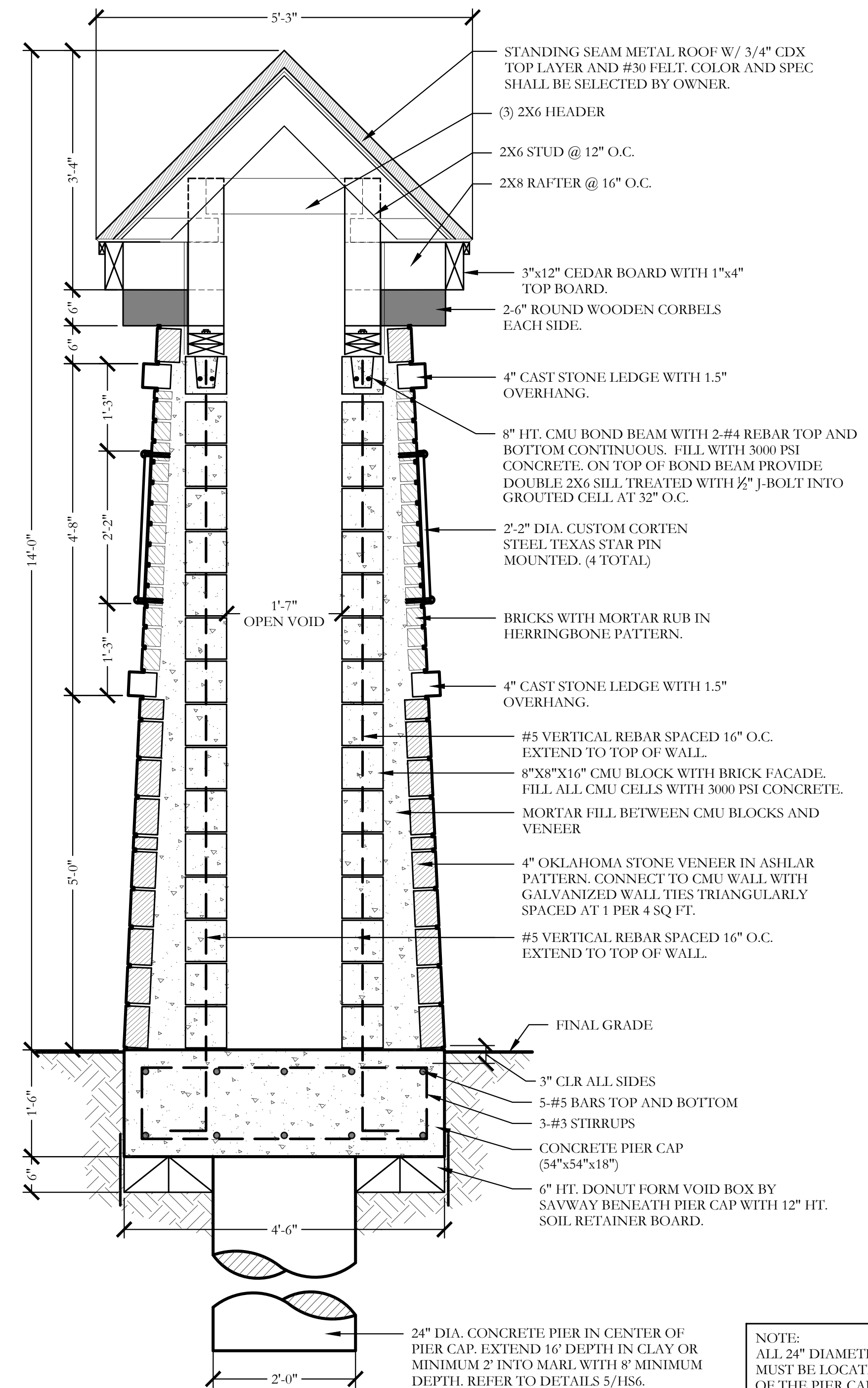
2 9'-6" HT. SIGN WALL
ELEVATION

SCALE: 3/4" = 1'-0"



3 CORTEN STEEL SIGN PANEL
ELEVATION

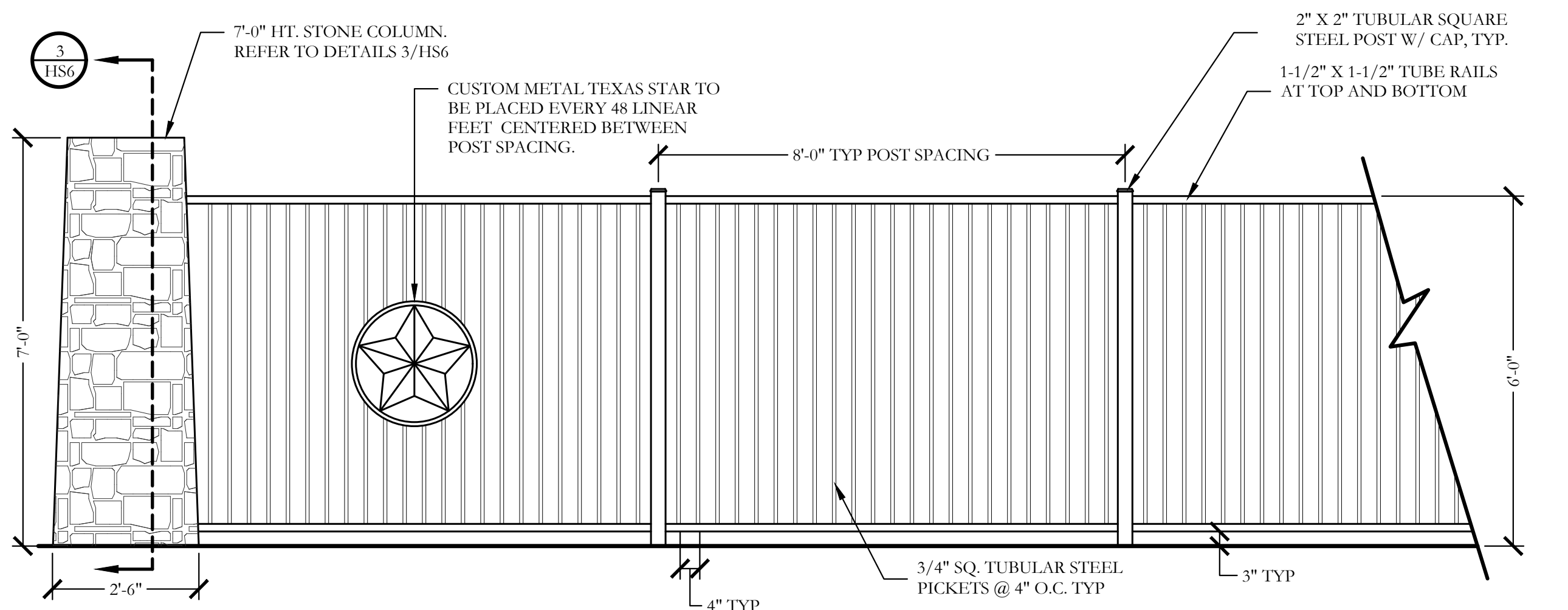
SCALE: 3/4" = 1'-0"



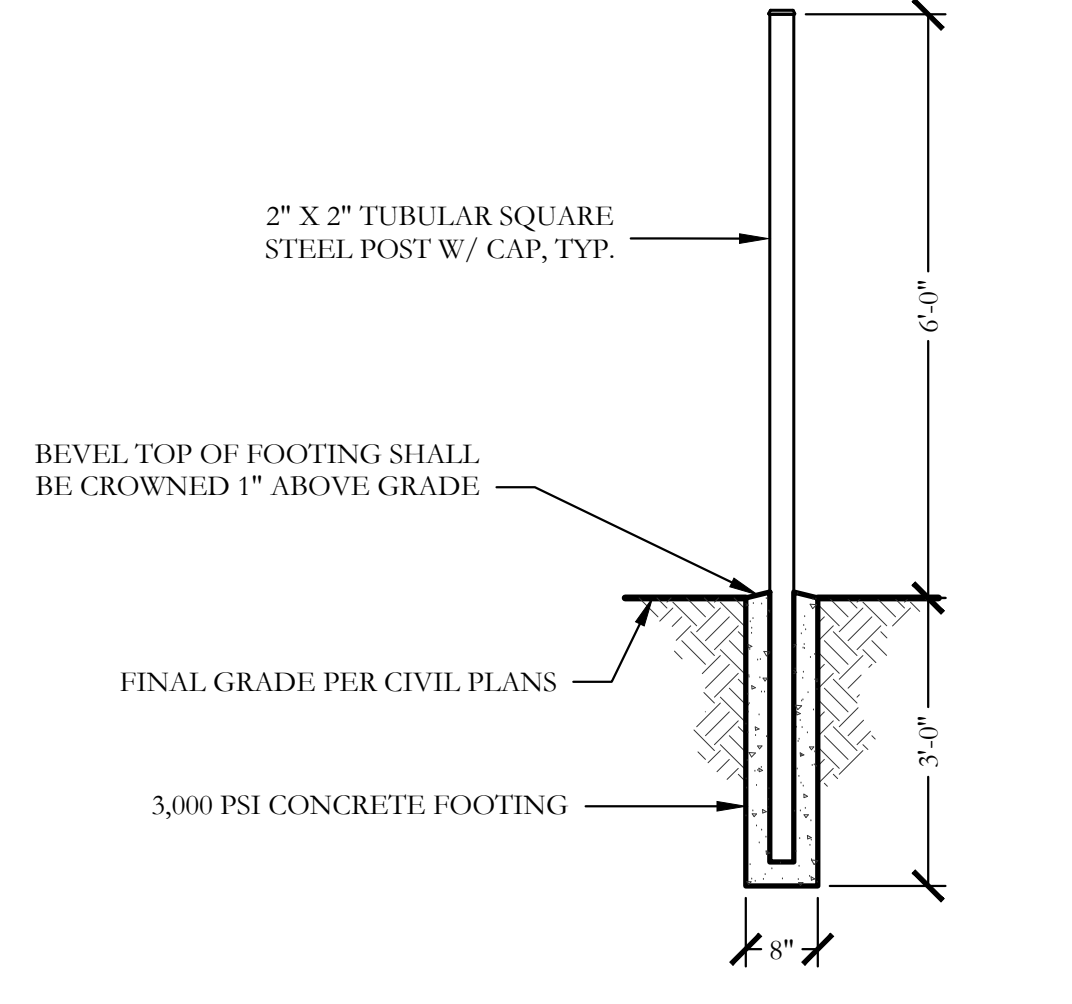
4 14'-0" HT. STONE ENTRY TOWER
SECTION

NOTE: ALL 24" DIAMETER CONCRETE PIERS MUST BE LOCATED IN THE CENTER OF THE PIER CAP.

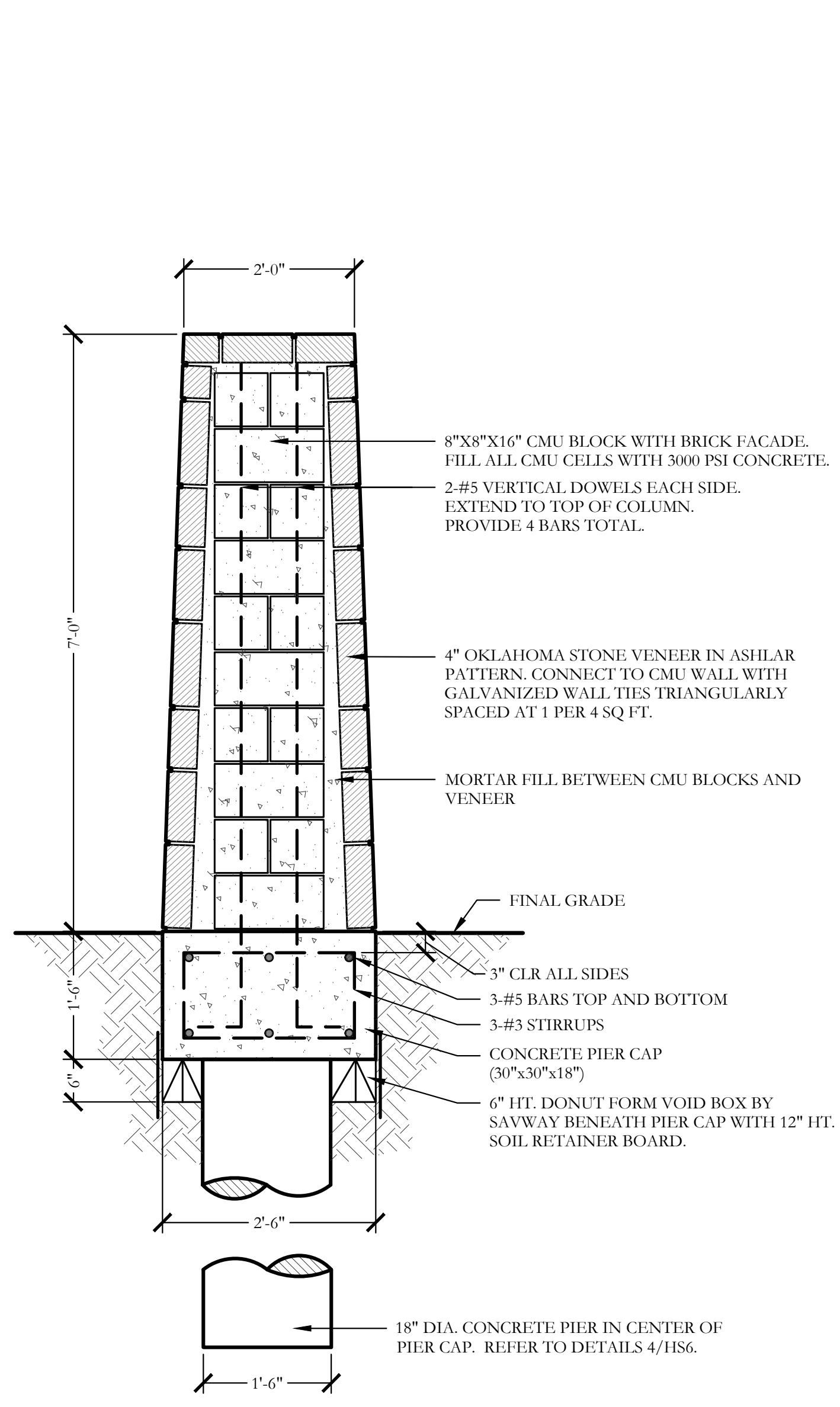
SCALE: 3/4" = 1'-0"



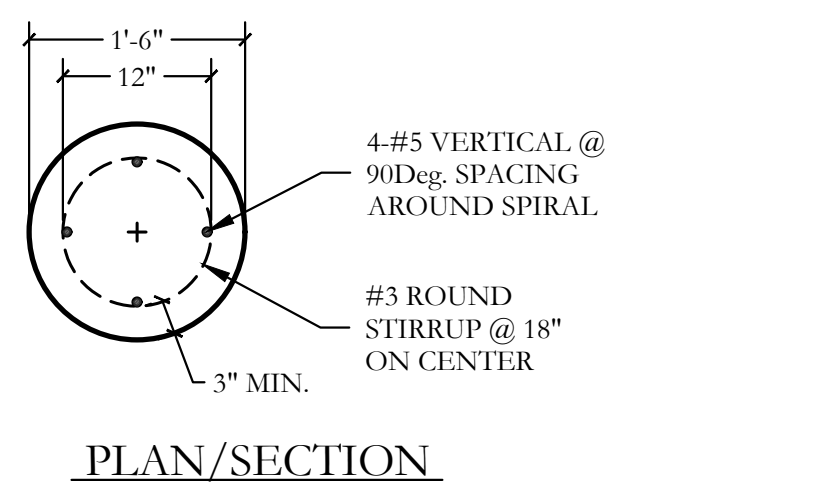
1 7'-0" STONE COLUMN AND 6'-0" ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2" = 1'-0"



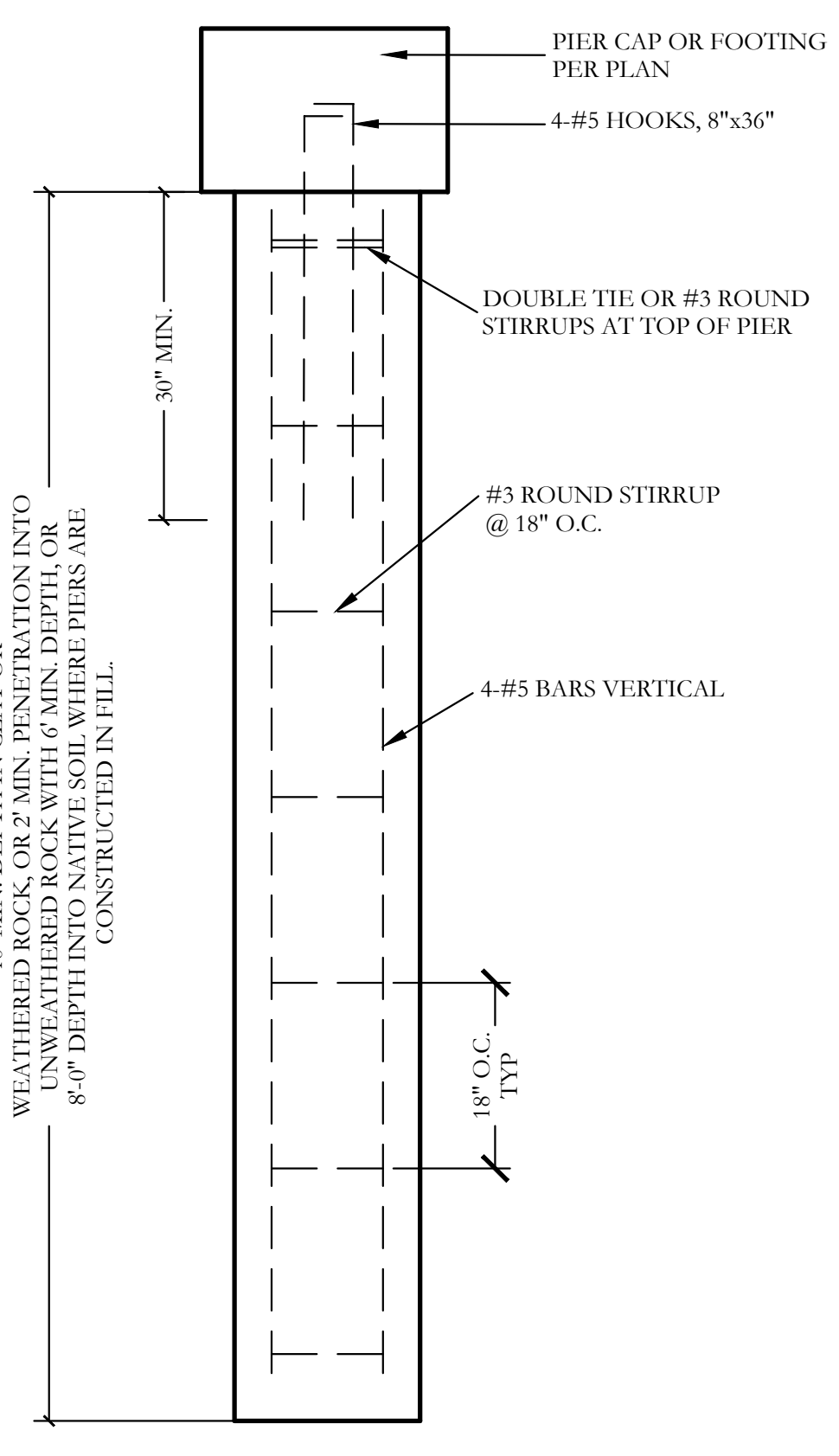
2 TYPICAL METAL POST FOOTING SECTION SCALE: 1/2" = 1'-0"



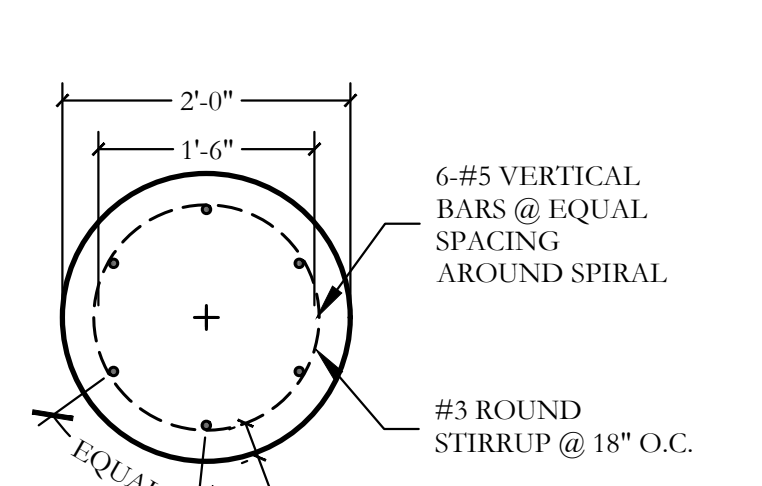
3 7'-0" HT. STONE COLUMN SECTION SCALE: 3/4" = 1'-0"



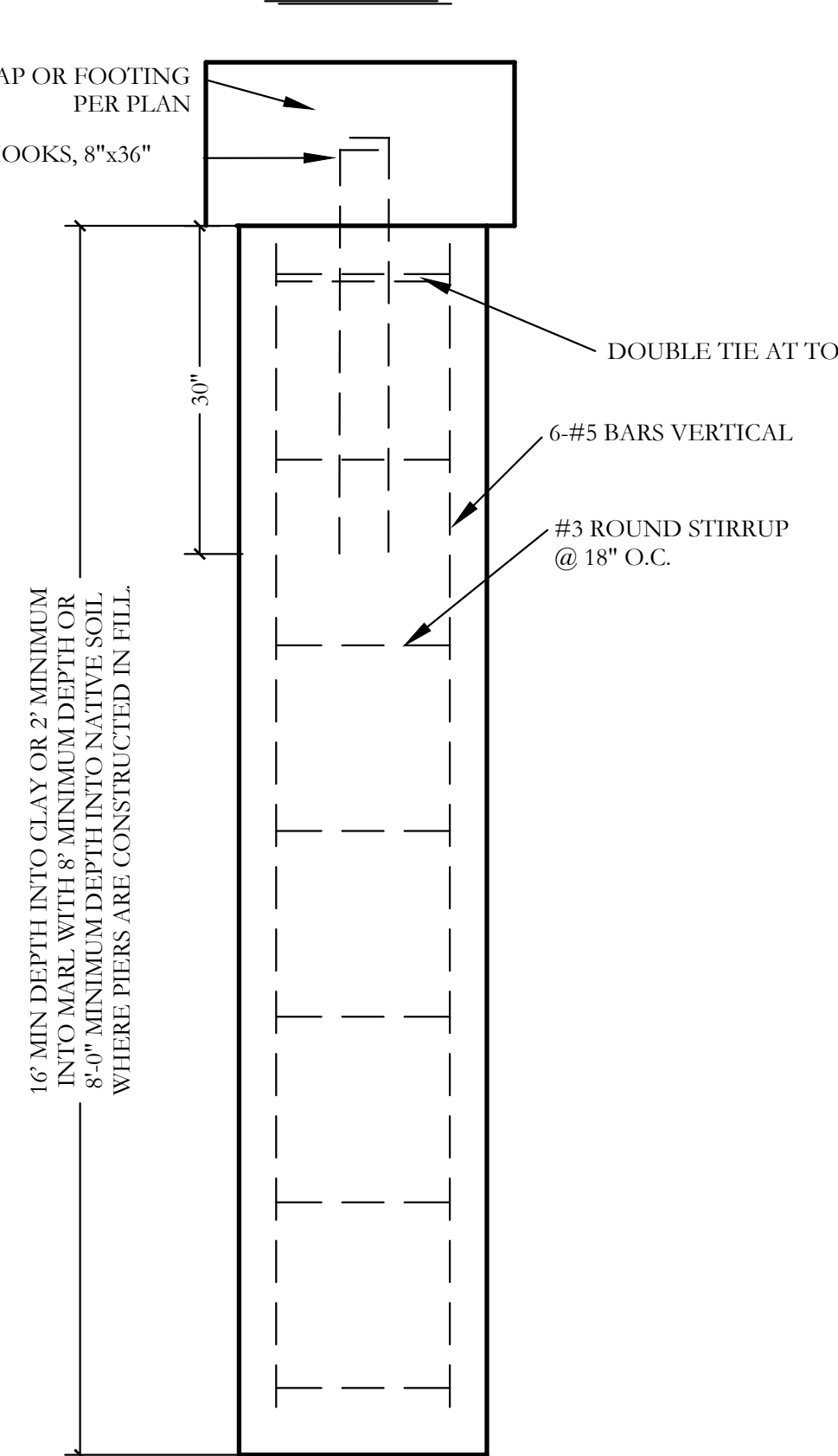
PLAN/SECTION



4 PIER (18" DIA.) SECTION SCALE: 3/4" = 1'-0"



PLAN



5 PIER (24" DIA.) SECTION SCALE: 3/4" = 1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE I AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 - CHLORIDES SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 5: 2 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - BEAMS AND COLUMNS: 1-1/2 INCHES
 - SHELLS AND FOLDED PLATES
 - (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 - PROVIDE 60 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
 - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 3/4" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 - PLACE GROUT USING LOW-LIFT METHOD, 6" MAXIMUM LIFTS.

WALL NOTES

- THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
- PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
- ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A82, GRADE 60.
- CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES. REFER TO DETAILS FOR TYPE AND SIZE OF STONING AND REINFORCEMENT MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
- ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
- ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
- STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
- LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNERS REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSE LEVEL, AND SHARP EDGES, AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
- THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONEMWORK ON THE PROJECT.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.

ORNAMENTAL METAL FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES, AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
- GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
- ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1/2" SQUARE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
- POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
- FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

CODY JOHNSON
s . t . u . d . i . o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025
PH: (972) 570-0162
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September 21, 2021

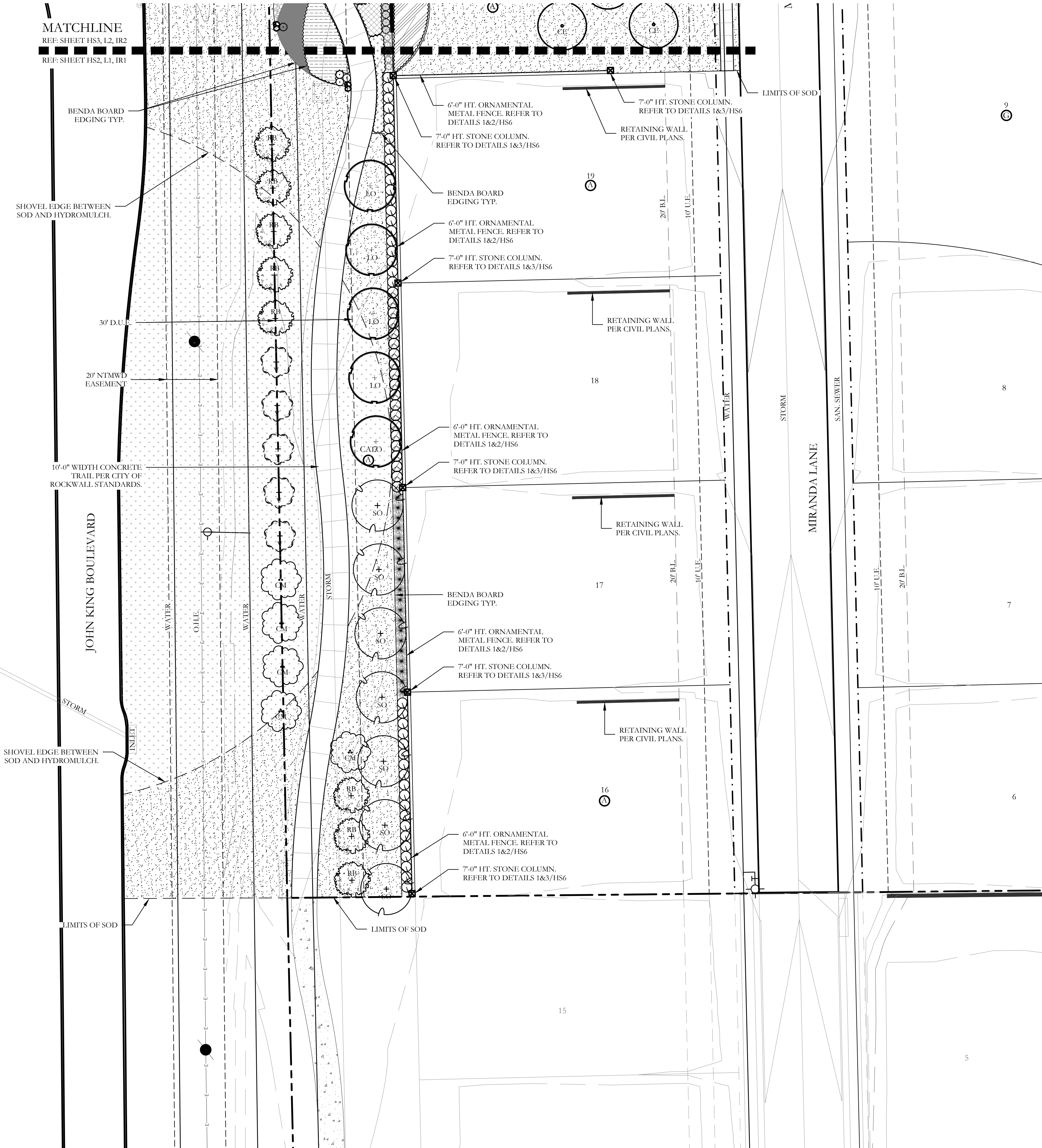
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One Inch

SCREENING AND BUFFERING
Hardscape Details
Saddle Star South - Phase 3
City of Rockwall, Rockwall County, Texas

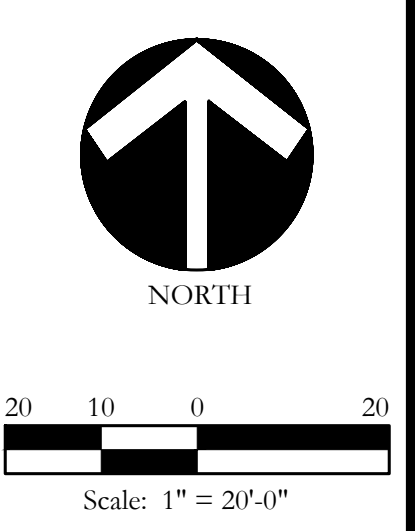
CJS PROJECT NO.
PAD001B
SHEET NO.
HS6 of 6

MATCHLINE
 REF: SHEET HS3, L2, IR2
 REF: SHEET HS2, L1, IR1



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER 4" MIN. HT.	AS SHOWN
	V	CHASTE TREE	VITEX AGNUS	2" CALIPER 4" MIN. HT.	AS SHOWN
	CM	NATCHEZ GRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	2" CALIPER 4" MIN. HT.	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		INDIAN HAWTHORN 'SNOW'	RHAPHIOLEPIS INDICA 'SNOW'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		TEXAS RIVER ROCK; MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	50 LB - 250 LB	FIELD LOCATE ALL BOULDER MASSES

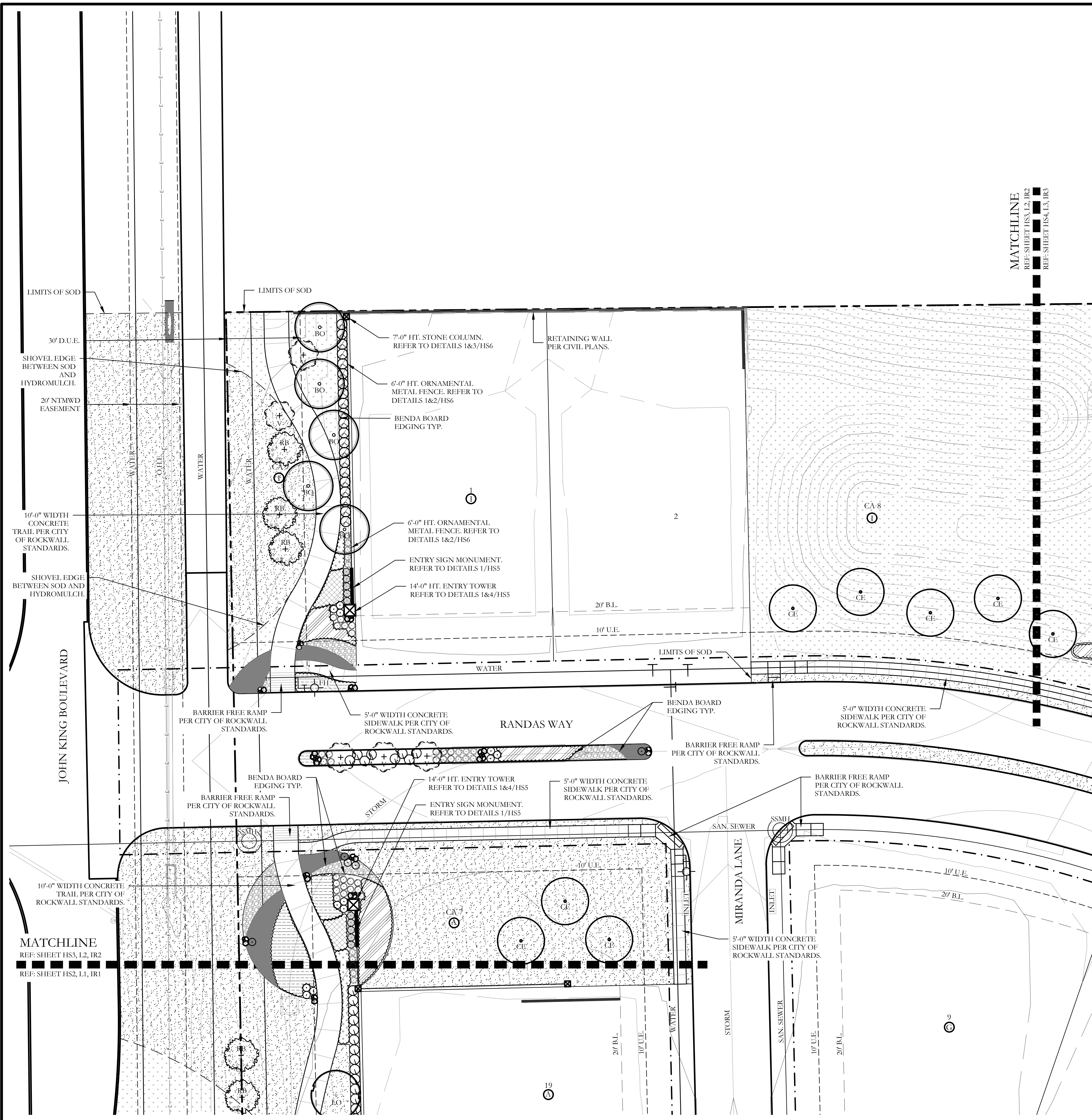
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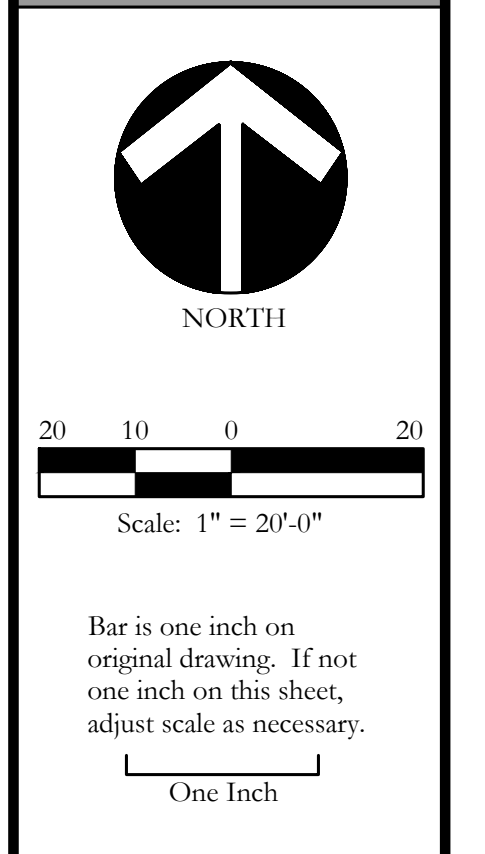
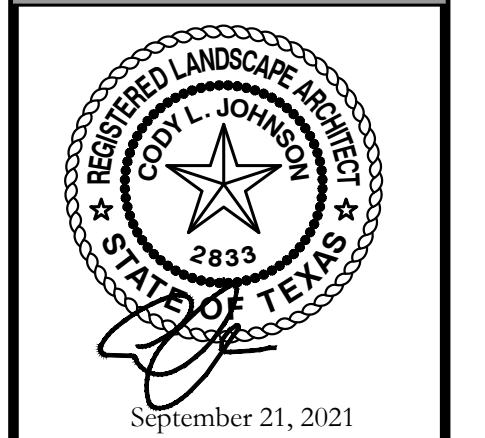
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SCREENING AND BUFFERING
 Landscape Plan
 Saddle Star South - Phase 3
 City of Rockwall, RockwallCounty, Texas

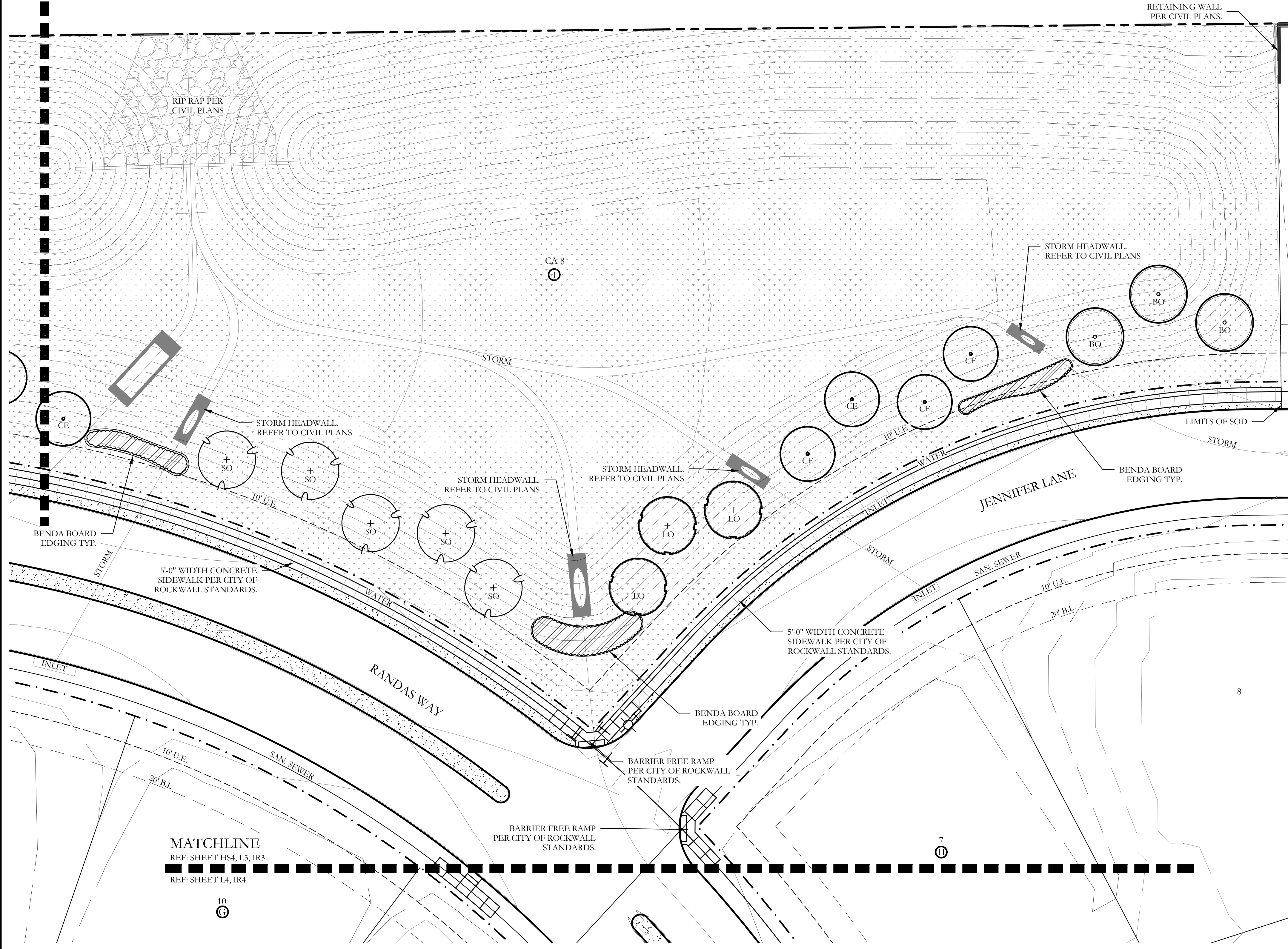
CJS PROJECT NO.
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 SHEET NO.
L1 of 6



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER 4" MIN. HT.	AS SHOWN
	V	CHASTE TREE	VITEX AGNUS	2" CALIPER 4" MIN. HT.	AS SHOWN
	CM	NATCHEZ GRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	2" CALIPER 4" MIN. HT.	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		INDIAN HAWTHORN 'SNOW'	RHAPHIOLEPIS INDICA 'SNOW'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		TEXAS RIVER ROCK; MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	50 LB - 250 LB	FIELD LOCATE ALL BOULDER MASSES



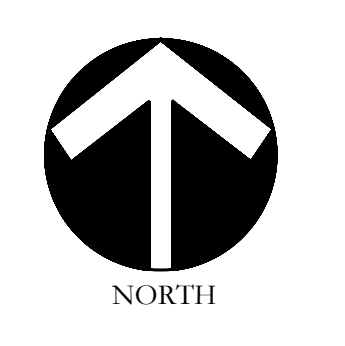
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REF: SHEET L3, L2, D2
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MATCHLINE
REF: SHEET L3, L3, IR3
REF: SHEET L4, IR4

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER 4" MIN. HT.	AS SHOWN
	V	CHASTE TREE	VITEX AGNUS	2" CALIPER 4" MIN. HT.	AS SHOWN
	CM	NATCHEZ GRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	2" CALIPER 4" MIN. HT.	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		INDIAN HAWTHORN 'SNOW'	RHAPHIOLEPIS INDICA 'SNOW'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
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		OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	50 LB - 250 LB	FIELD LOCATE ALL BOULDER MASSES

CODY JOHNSON
s.t.u.d.i.o



Scale: 1" = 20'-0"

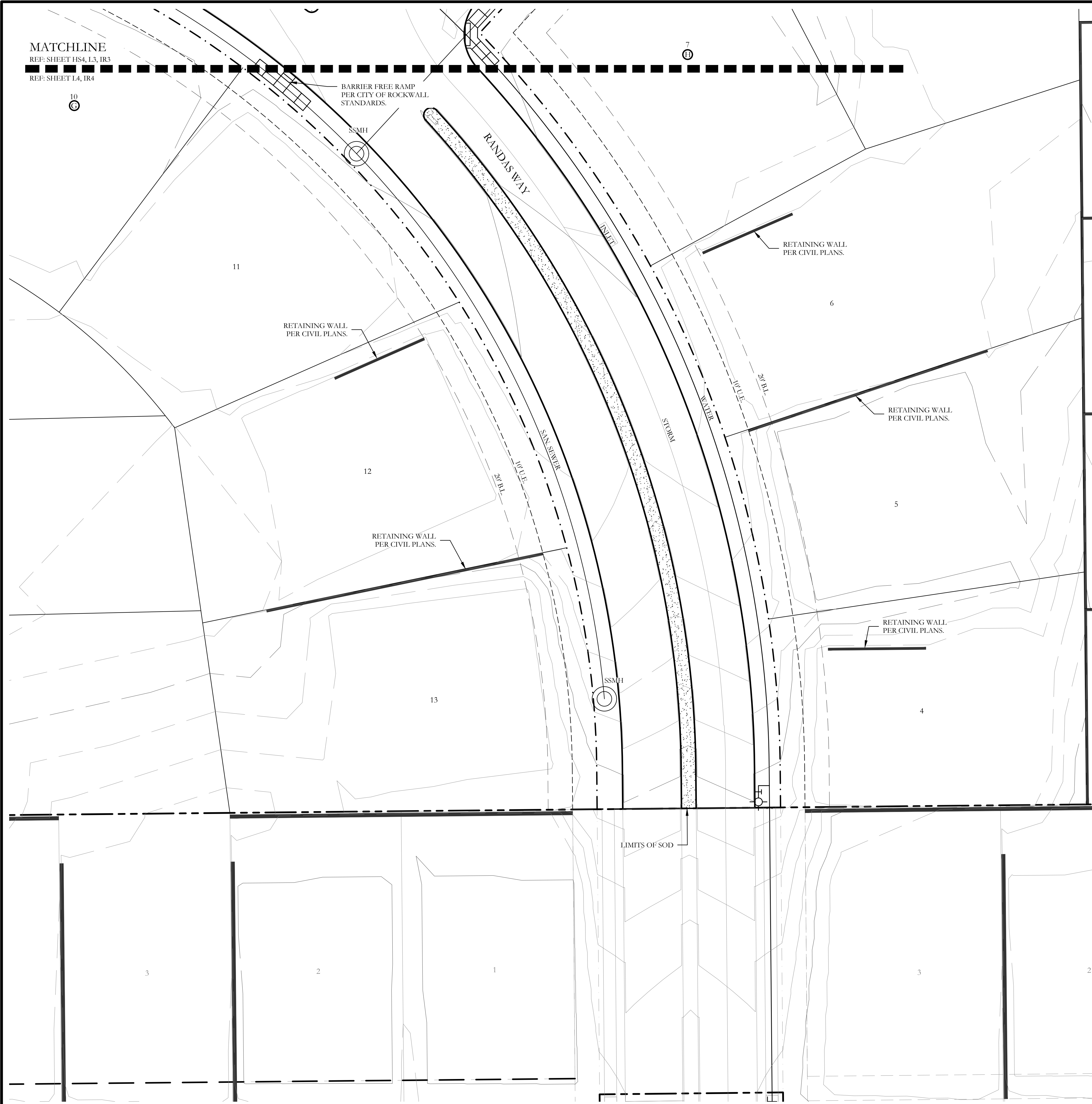
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SCREENING AND BUFFERING

Landscape Plan
Saddle Star South - Phase 3
City of Rockwall, RockwallCounty, Texas

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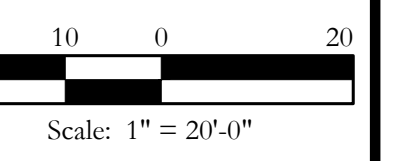
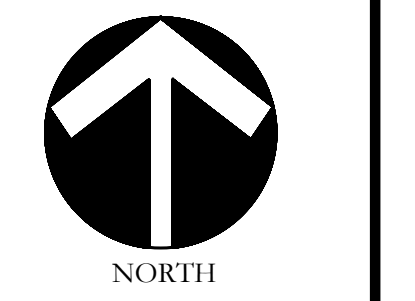
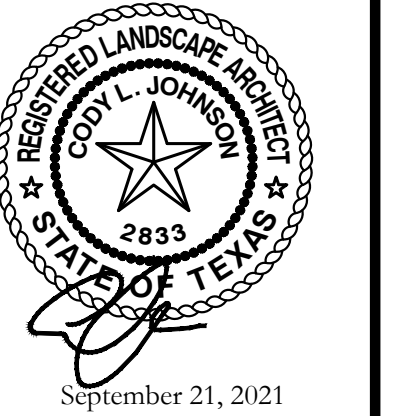
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 REF: SHEET L4, IR4



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER 4' MIN. HT.	AS SHOWN
	V	CHASTE TREE	VITEX AGNUS	2" CALIPER 4' MIN. HT.	AS SHOWN
	CM	NATCHEZ GRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	2" CALIPER 4' MIN. HT.	AS SHOWN
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		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		INDIAN HAWTHORN 'SNOW'	RHAPHIOLEPIS INDICA 'SNOW'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		TEXAS RIVER ROCK; MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	50 LB - 250 LB	FIELD LOCATE ALL BOULDER MASSES

CODY JOHNSON
 s.t.u.d.i.o



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 One Inch

SCREENING AND BUFFERING
 Landscape Plan
 Saddle Star South - Phase 3
 City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
PAD001B
 SHEET NO.
L4 of 6

LANDSCAPE PROVIDED

JOHN KING BOULEVARD

- A. MINIMUM TWENTY (50) FOOT LANDSCAPE EDGE PROVIDED
- B. 10' SIDEWALK WITHIN LANDSCAPE BUFFER PROVIDED.
- C. 3 - 4" CAL. CANOPY TREE & 4 ACCENT TREES / 100 LF OF LINEAR FRONTAGE. 542 LF OF FRONTAGE / 100 LF = 17 - 4" CAL. TREES & 22 ACCENT TREES REQUIRED PROVIDED: 17 - 4" CALIPER CANOPY TREES & 25 ACCENT TREES PROVIDED
- D. MIN 30" HT. SHRUBBERY PROVIDED ALONG LENGTH OF STREET FRONTAGE.

DETENTION AREA LOT C&S BLOCK 1

- A. 1 SHRUB OR ORNAMENTAL GRASS PER 750 SF OF DRY DETENTION AREA. 91,263 SF OF DETENTION AREA / 750 SF = 122 - SHRUBS OR ORNAMENTAL GRASSES PROVIDED: 188 ORNAMENTAL GRASSES.

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	8	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	12	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	8	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	12	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	11	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
V	10	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	5	NATCHEZ CRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	48	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	41	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	20	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	10	INDIAN HAWTHORN SNOW	RHAPHIOLEPIS INDICA 'SNOW'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	28	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	17	RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	16	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	55	ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	413	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	111	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	380	WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	36,555	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	108,346	BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO.	SQUARE FEET	HYDROMULCH	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	730	BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	¾-1" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	542	TEXAS RIVER ROCK; MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4"	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	4	OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	TONS	FIELD LOCATE	50 LB - 250 LB PER BOULDER

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

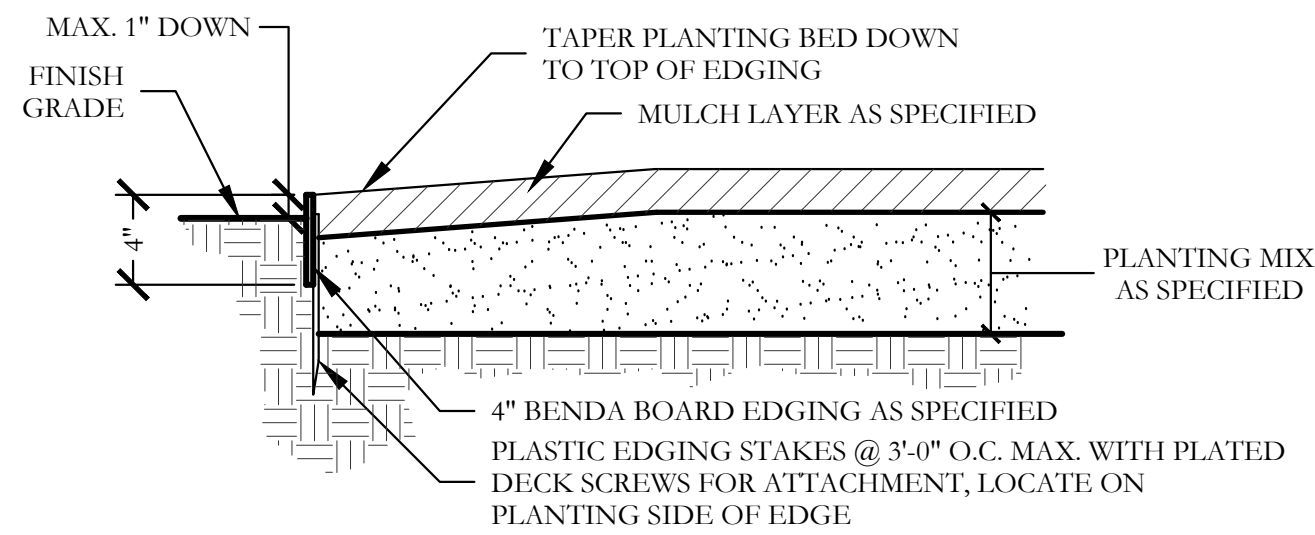
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

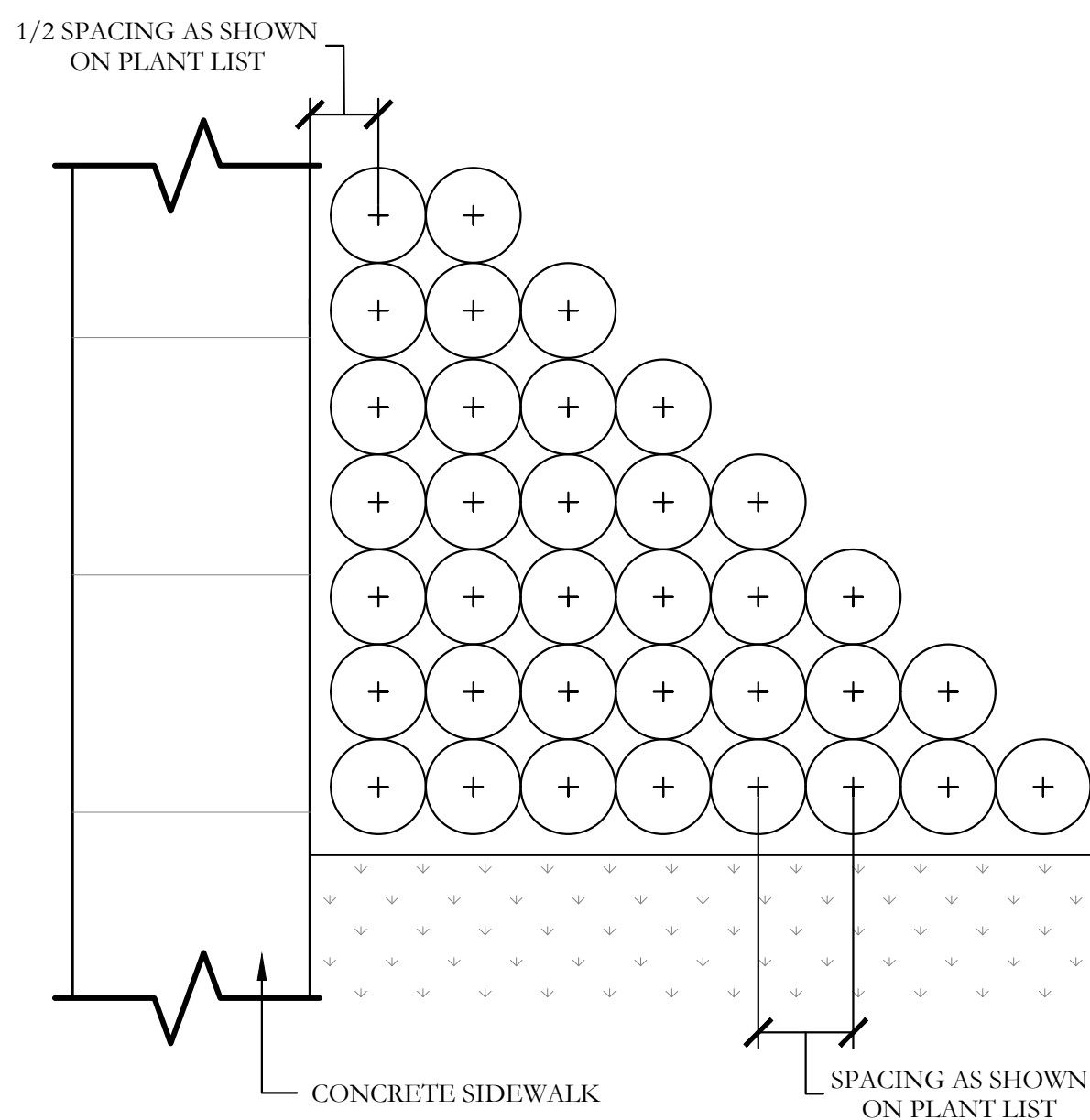
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRoACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

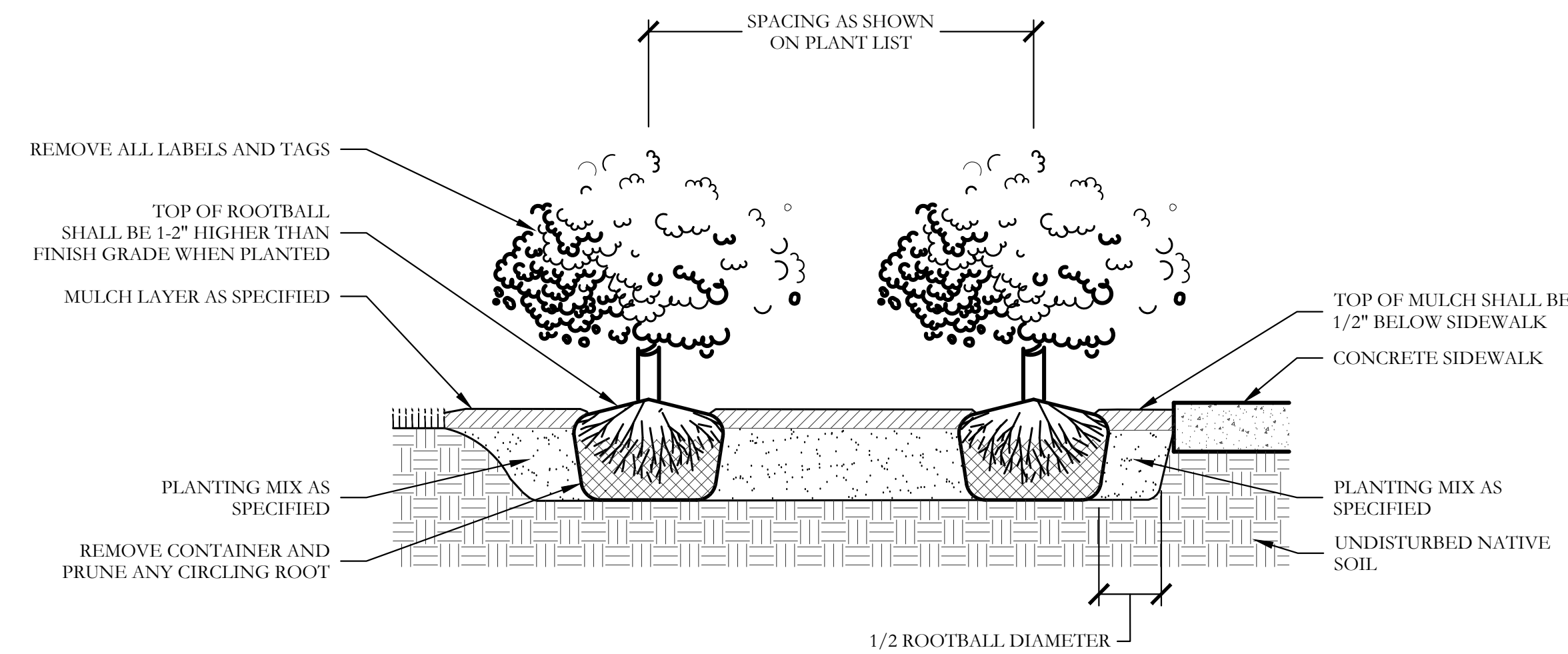
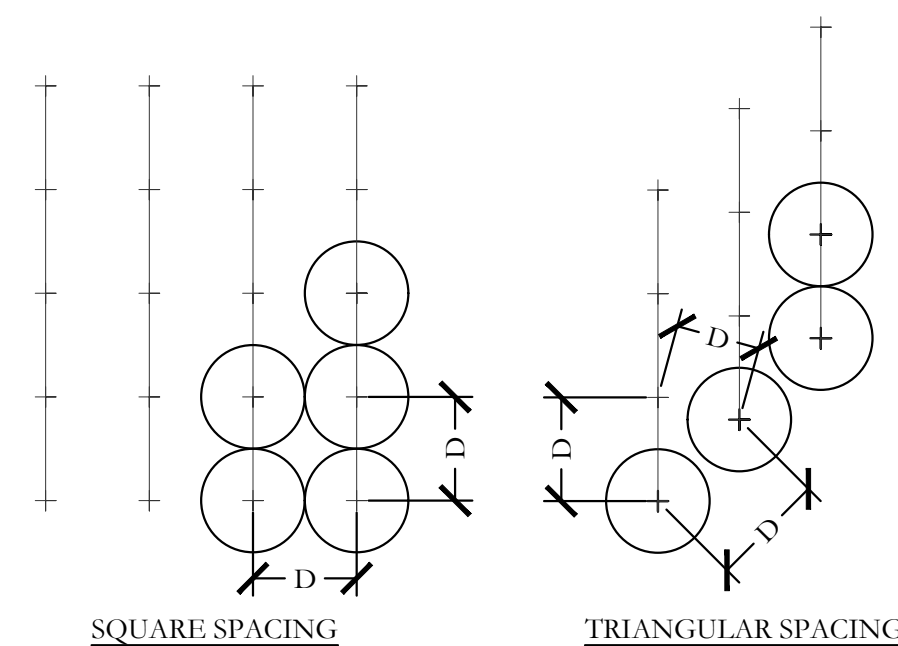
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

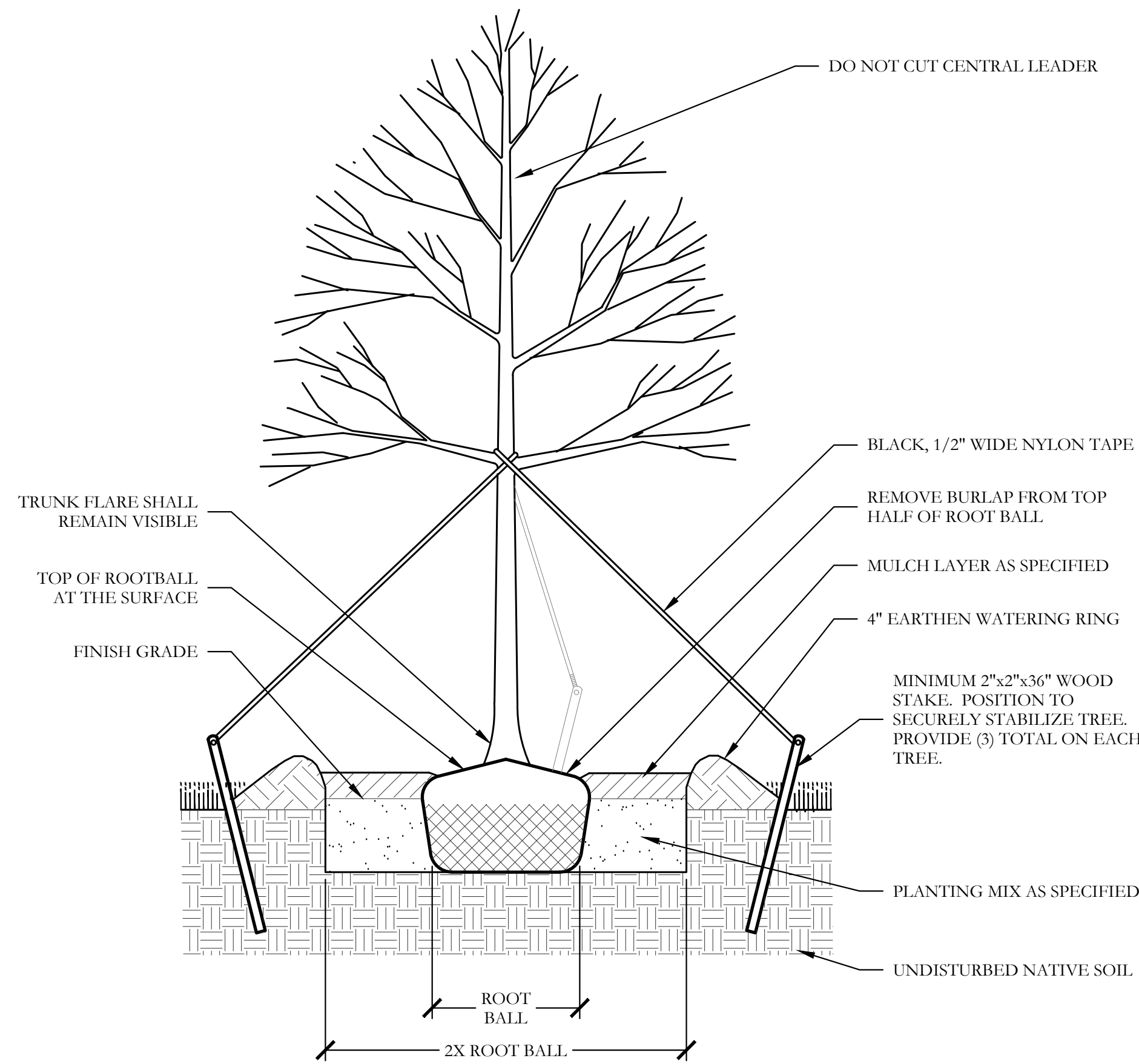


1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE

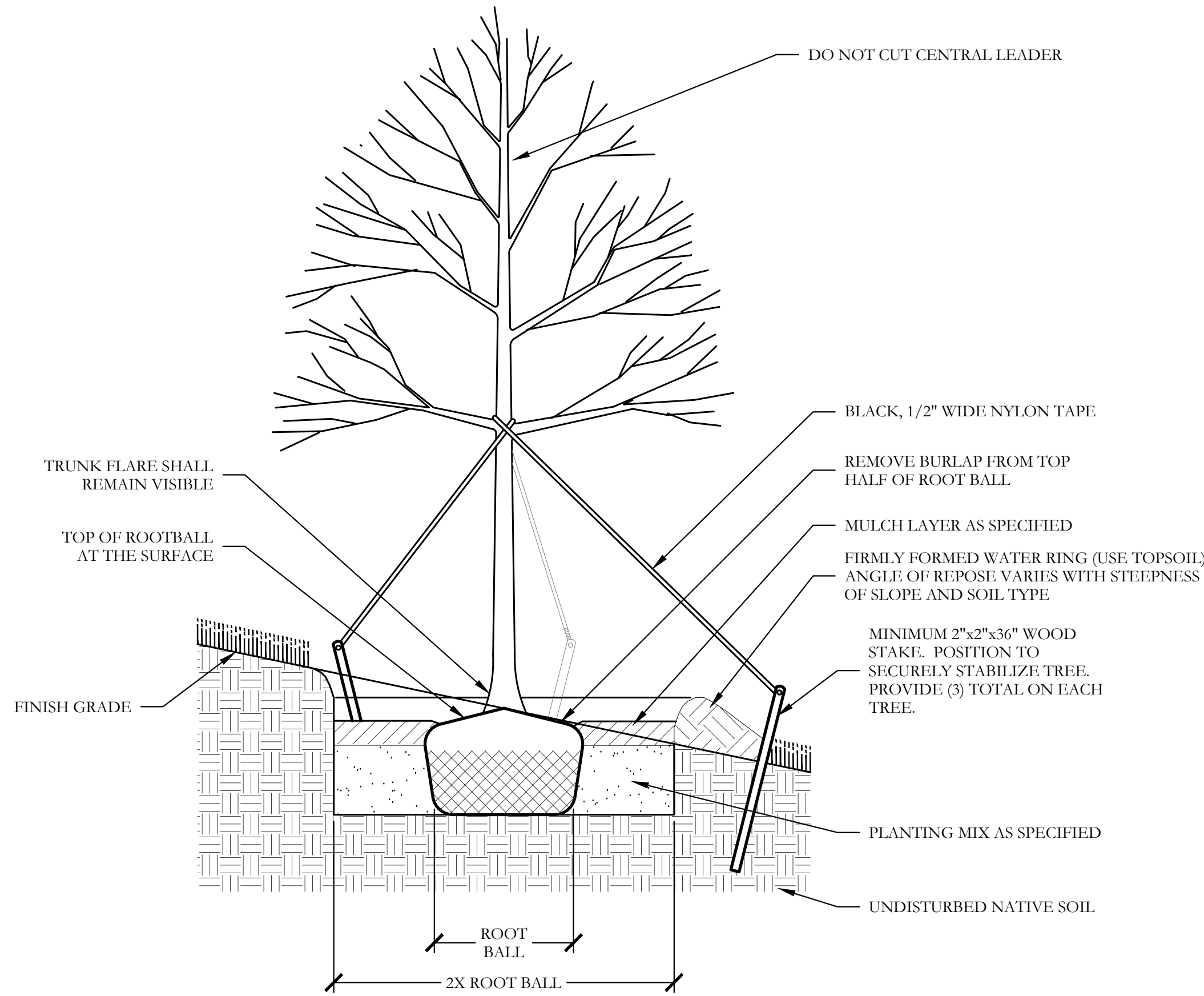


2 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE

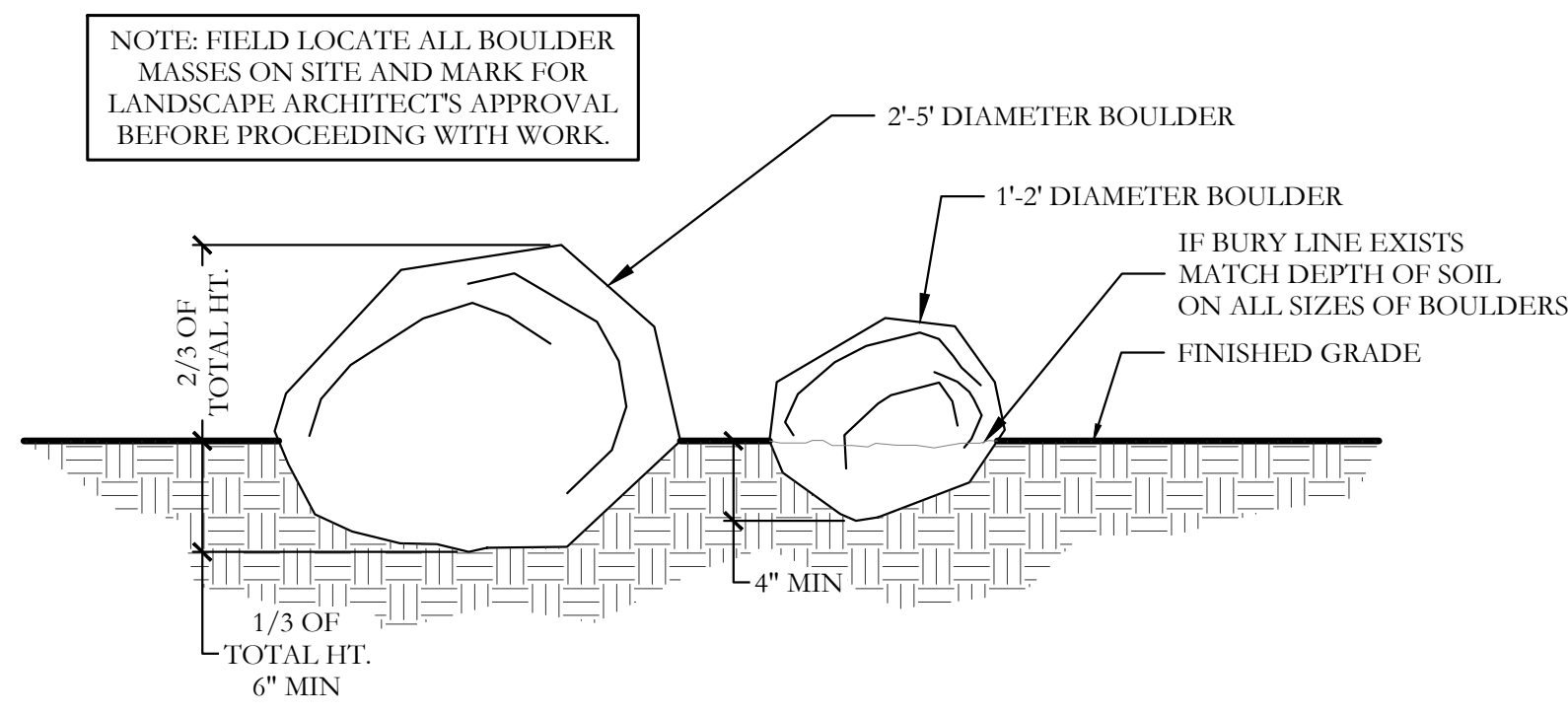




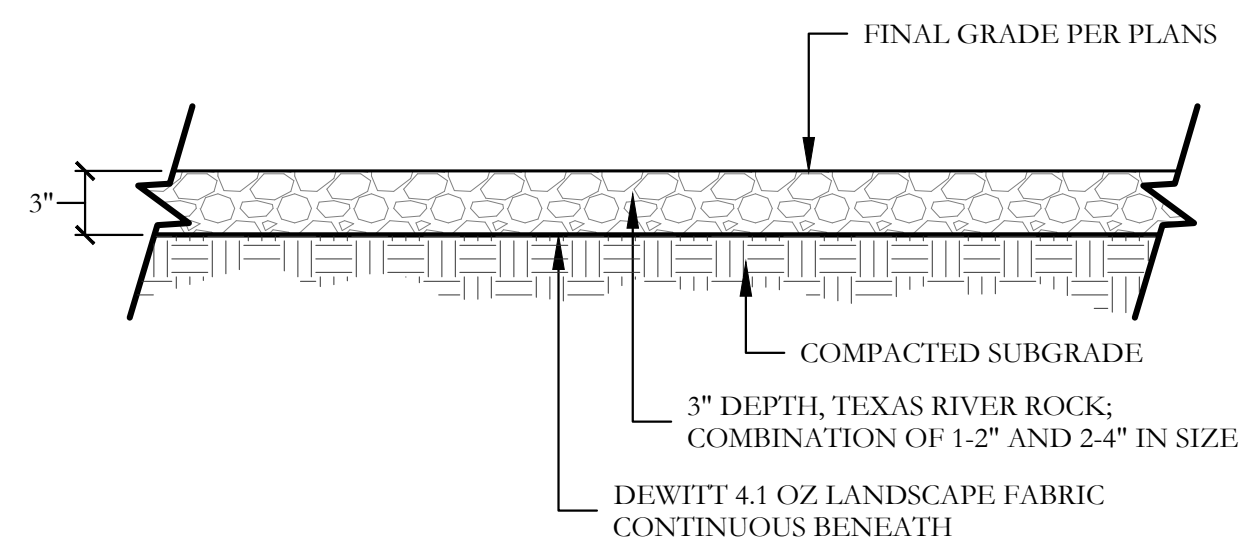
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



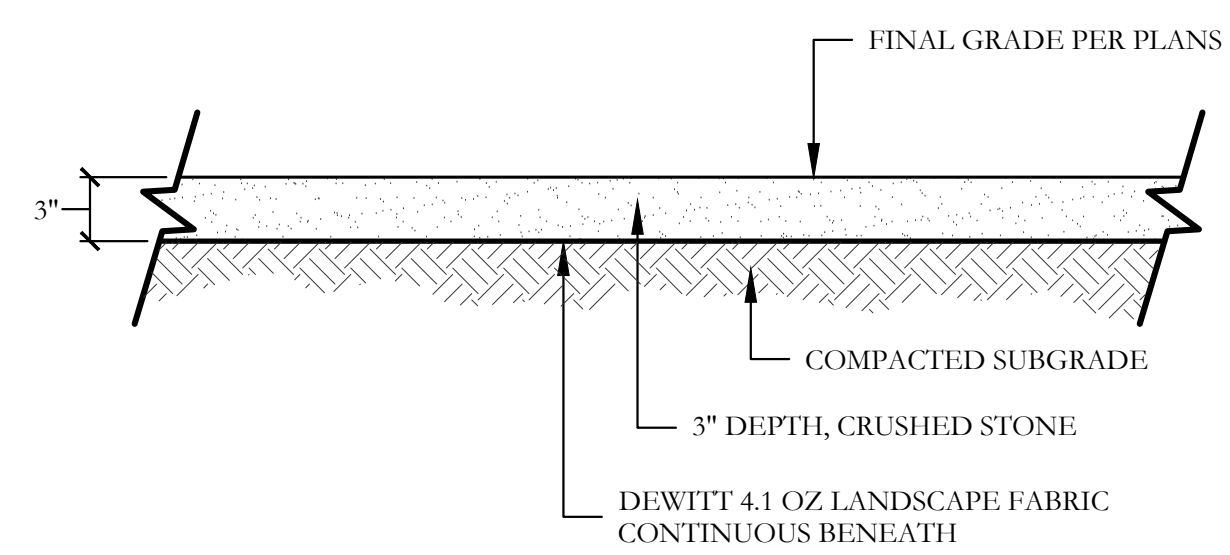
3 TYPICAL TREE PLANTING ON SLOPE SECTION NOT TO SCALE



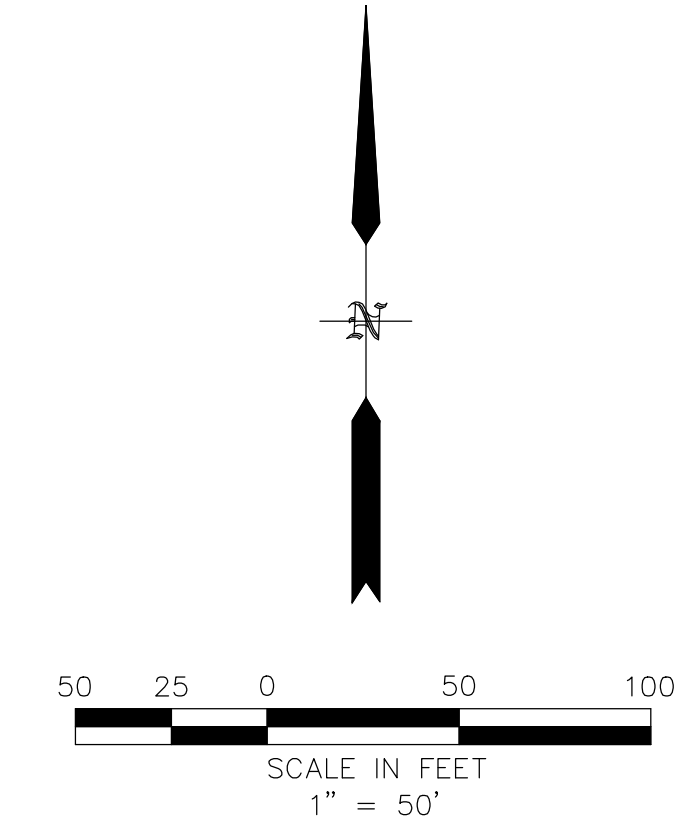
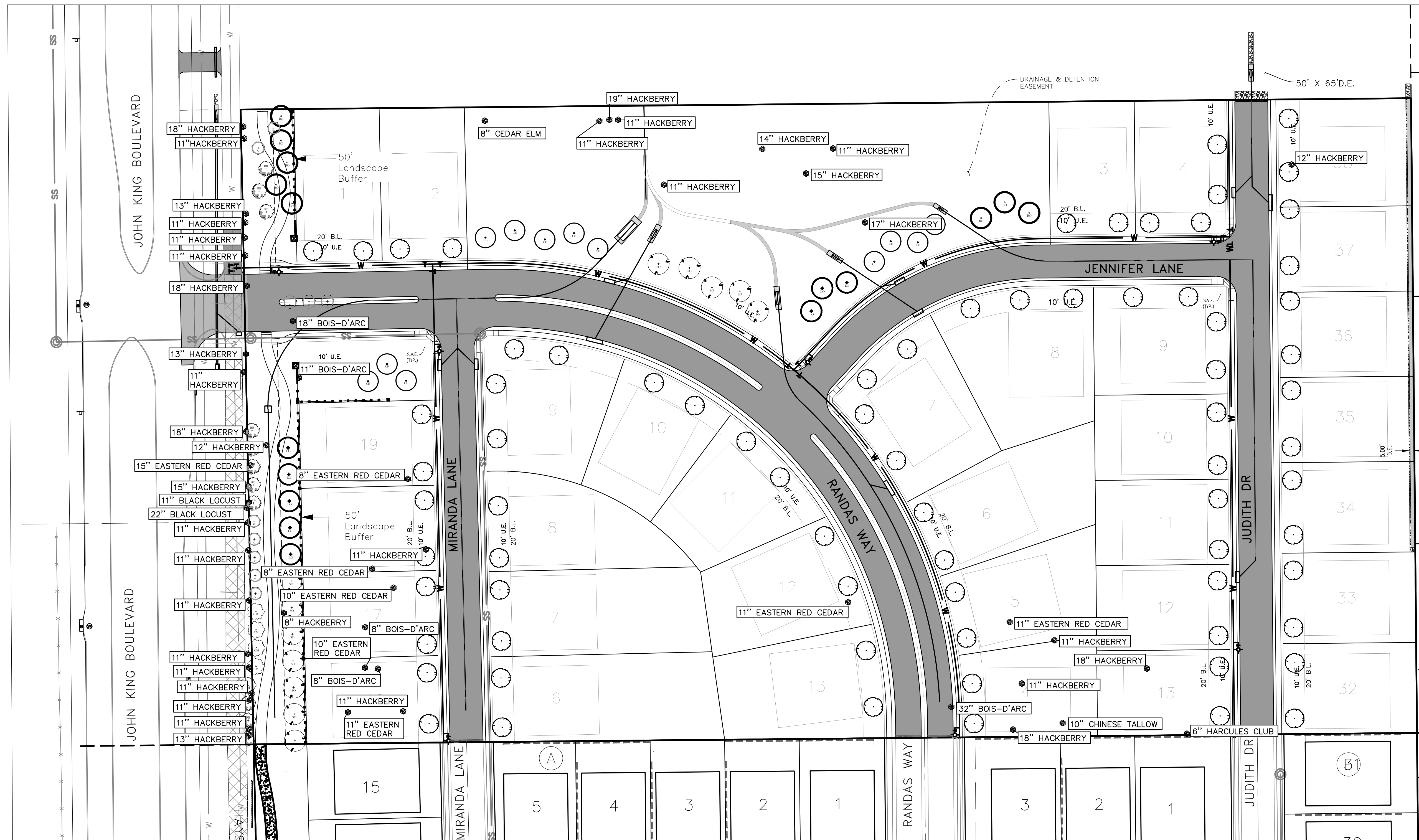
2 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE



4 TEXAS RIVER ROCK BED SECTION SCALE: 1\"/>



5 CRUSHED STONE DETAILS SECTION SCALE: 1\"/>



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	GERGIS CANADENSIS VAR. TEXENSIS	2" CALIPER 4" MIN. HT.	AS SHOWN
	V	CHASTE TREE	VITEX AGNUS	2" CALIPER 4" MIN. HT.	AS SHOWN
	CM	NATCHEZ GRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	2" CALIPER 4" MIN. HT.	AS SHOWN

- PROPOSED 3" CANOPY TREE BY BUILDER
 - EXISTING TREE TO BE REMOVED
- SADDLE STAR SOUTH PHASE 3
TREES to be REPLACED**
- 8 - 4" LIVE OAK
 - 12 - 4" SHUMARD OAK
 - 8 - 4" BUR OAK
 - 12 - 4" CEDAR ELM
 - 9 - 2" TEXAS REDBUD
 - 7 - 2" CHASTE TREE
 - 4 - 2" NATCHEZ CRAPE MYRTLE
 - 75 - 3" CANOPY TREE (BY BUILDER)
 - 425 CALIPER INCHES REPLACED

**SADDLE STAR SOUTH PHASE 3
TREES to be REMOVED**

- 1 - 8" CEDAR ELM
 - 1 - 11" BLACK LOCUST
 - 1 - 22" BLACK LOCUST
 - 2 - 8" BOIS-D'ARC
 - 1 - 11" BOIS-D'ARC
 - 1 - 18" BOIS-D'ARC
 - 1 - 32" BOIS-D'ARC
 - 1 - 8" HACKBERRY
 - 21 - 11" HACKBERRY
 - 2 - 12" HACKBERRY
 - 3 - 13" HACKBERRY
 - 1 - 14" HACKBERRY
 - 2 - 15" HACKBERRY
 - 1 - 17" HACKBERRY
 - 5 - 18" HACKBERRY
 - 1 - 19" HACKBERRY
 - 1 - 8" EASTERN RED CEDAR
 - 2 - 10" EASTERN RED CEDAR
 - 3 - 11" EASTERN RED CEDAR
 - 1 - 15" EASTERN RED CEDAR
 - 1 - 10" CHINESE TALLOW
 - 1 - 6" HARCULES CLUB
- 422 CALIPER INCHES REMOVED

OWNER/DEVELOPER

CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142

*ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

*SEE "NTMWD NOTES" SHEET 1

CAUTION: EXISTING UTILITIES
CONTRACTOR SHOULD CALL 1-800-DIG-TRESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CAUTION: EXISTING UTILITIES
THE CONTRACTOR SHALL CONTACT NTMWD LINE LOCATES AT (469) 626-4569 AT LEAST 72 HOURS PRIOR TO PERFORMING ANY WORK IN THE VICINITY OF THE NTMWD FACILITIES.

BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58

BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT. ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:			
DRAWN: MJH	DATE:		
CHECKED: RCK	DATE: 10/8/2021		
PROJECT NO.: 06828			
DWG FILE NAME: 06828 TREESCAPE.DWG			

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF (-) ON 10/8/2021. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING.

TREE MITIGATION PLAN
SADDLE STAR SOUTH PHASE 3
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

- (A) **Primary Protected Trees:** Primary protected trees measuring four inches through 25-inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- (B) **Secondary Protected Trees:** Hackberry and cedar trees measuring 11-inches through 25-inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- (C) **Featured Trees:** Featured trees (i.e. all trees greater than 25-inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- (D) **Non-Protected Tree:** No mitigation will be required for the removal of any tree that is less than four (4) inches DBH or less than 11-inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of Bois d'Arc, willow, cottonwood, locust and Chinsberry trees.

TABLE 1: SUMMARY OF MITIGATION REQUIREMENTS

Type of Tree	Mitigation Value	Mitigation Requirement	Example of Mitigation Requirements
Primary Protected Trees	4" - 25"	1"=1"	A 20-inch tree would require 20-inches of mitigation
Secondary Protected Trees	11" - 25"	1"=1/2" or 1"=0.5"	A 20-inch tree would require ten (10) inches of mitigation
Featured Trees	Greater Than 25"	1"=2"	A 30-inch tree would require 60-inches of mitigation



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 14, 2021
APPLICANT: Tari Kinsey
CASE NUMBER: P2021-058; *Final Plat for Lots 1-4, Block A, Kinsey Addition*

SUMMARY

Hold a public hearing to discuss and consider a request by Tari Kinsey for the approval of a Final Plat for Lots 1-4, Block A, Kinsey Addition being a 0.76-acre tract of land identified as a portion of Blocks 9 & 10, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 802, 806, & 808 Kernodle Street, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 0.76-acre tract of land (*i.e. a portion of Blocks 9 & 10, F&M Addition*) for the purpose of establishing four (4) lots (*i.e. Lots 1-4, Block A, Kinsey Addition*) for Single Family 7 (SF-7) District land uses.
- The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. On September 15, 1896, the subject property was platted with the F & M Addition, and is currently identified as a portion of Block 9 and Block 10, F & M Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to a Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. The subject property currently has two (2) single family homes on two (2) separate lots.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1-4, Block A, Kinsey Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-058

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 802 - 808 Kernodle St Rockwall
 SUBDIVISION Farmers and Merchants LOT 9/10 BLOCK
 GENERAL LOCATION Kernodle and Cornelia

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-7 ~~REPLAT~~ CURRENT USE Residential
 PROPOSED ZONING SF-7 PROPOSED USE Residential
 ACREAGE 0.76 LOTS [CURRENT] 3 LOTS [PROPOSED] 4

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Tari Kinsey APPLICANT
 CONTACT PERSON Tari Kinsey CONTACT PERSON
 ADDRESS 2 Manor Ct ADDRESS
 CITY, STATE & ZIP Heath, Tx 75032 CITY, STATE & ZIP
 PHONE 972-571-1759 PHONE
 E-MAIL tari.kinsey@yahoo.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tari Kinsey [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

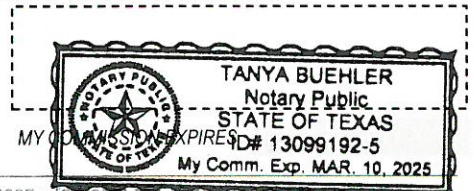
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 320.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF November, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF November, 2021


OWNER'S SIGNATURE

Tari Kinsey
Tanya Buehler

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





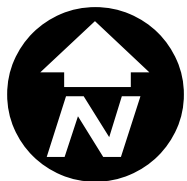
P2021-058- LOTS 1,2,3, & 4, BLOCK A,
KINSEY ADDITION
FINAL PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

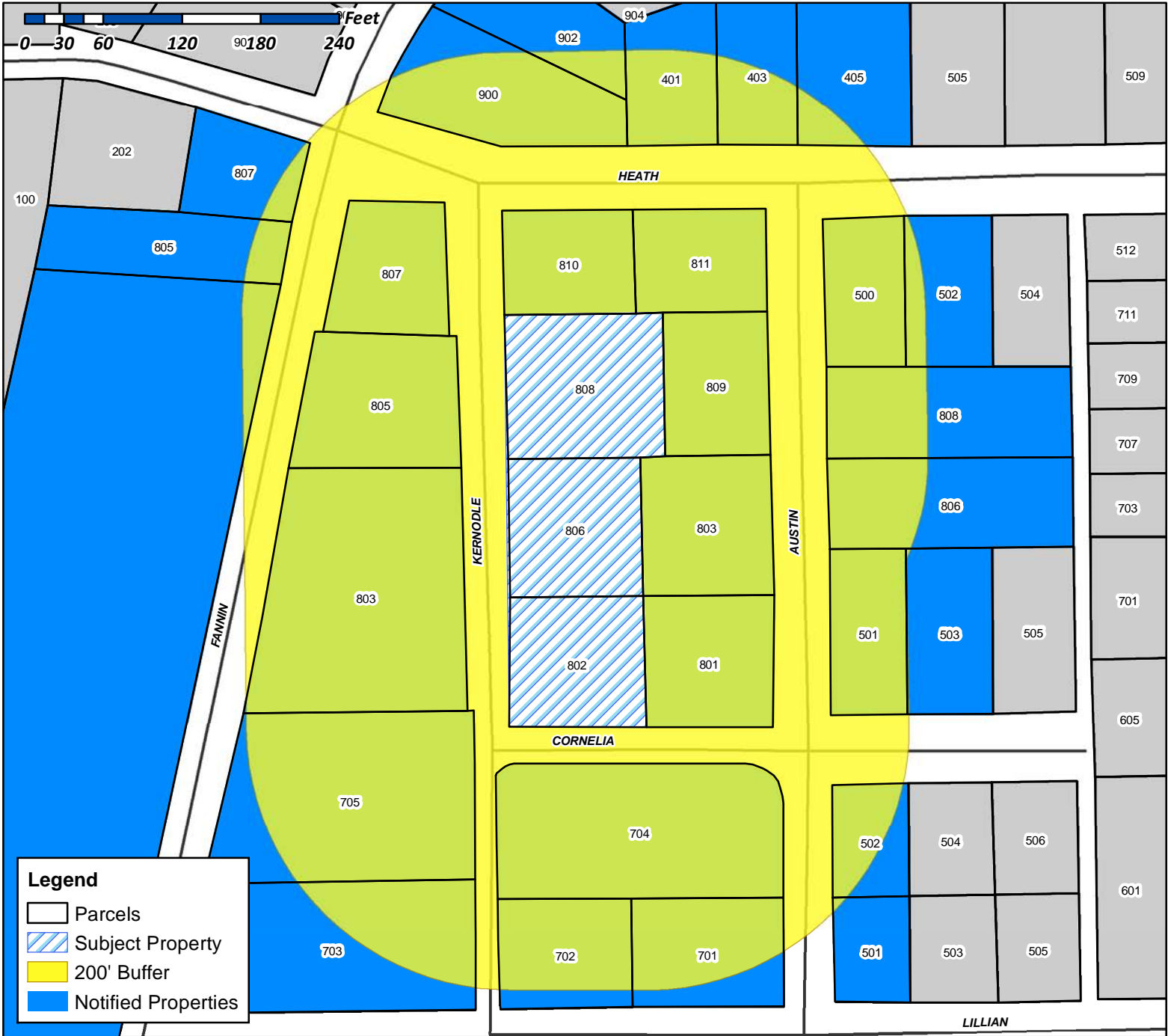




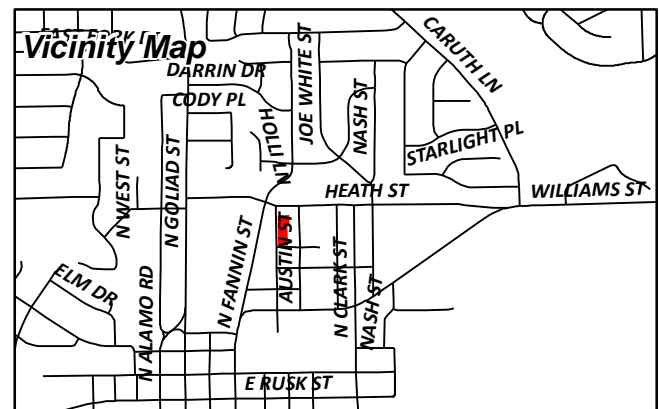
City of Rockwall

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Case Number: P2021-058
Case Name: Lots 1-4, Block A, Kinsey Addition
Case Type: Final Plat
Zoning: Single-Family 7 (SF-7) District
Case Address: 802-808 Kernodle



Date Created: 11/16/2021
For Questions on this Case Call (972) 771-7745

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES 10 LLC
2 MANOR COURT
HEATH, TX 75032

KINSEY TARI L AND DONALD H
2 MANOR CT
HEATH, TX 75032

PARK STUFF LLC
2301 LAFAYETTE DR
HEATH, TX 75032

TIPPING VIVIAN E AND
EARNEST TIPPING
401 EAST HEATH STREET
ROCKWALL, TX 75087

DOLLINS ROBIN KAY AND GEORGE OEN
403 E HEATH
ROCKWALL, TX 75087

PARK STUFF LLC
405 E HEATH ST
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

ESTATE OF BEULAH CHRISTINE MOONEY
701 AUSTIN ST
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
702 KERNODLEST
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

ZIMMERMAN CAROLYN
705 KERNODLE ST
ROCKWALL, TX 75087

BEASLEY GEORGE
801 AUSTIN ST
ROCKWALL, TX 75087

KINSEY DONALD H AND TARI L
802 KERNODLE ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES 10 LLC
806 KERNODLE ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
808 AUSTIN ST
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
808 KERNODLE ST
ROCKWALL, TX 75087

KINDRED ROBERT M
809 AUSTIN ST
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

WIEHE JOHN THOMAS
900 N FANNIN ST
ROCKWALL, TX 75087

FINK BEVERLY A & ROYCE G
902 N FANNIN STREET
ROCKWALL, TX 75087

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. P2021-058: Lots 1-4, Block A, Kinsey Addition

Hold a public hearing to discuss and consider a request by Tari Kinsey for the approval of a Final Plat for Lots 1-4, Block A, Kinsey Addition being a 0.76-acre tract of land identified as a portion of Blocks 9 & 10, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 802, 806, & 808 Kernodle Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 14, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 20, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Andrew Reyna
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 20, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. P2021-058: Lots 1-4, Block A, Kinsey Addition

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 14, 2021

APPLICANT: Bowen Hendrix; *DuWest Realty, LLC*

CASE NUMBER: Z2021-048; *PD Development Plan for a General Retail Development/Shopping Center in Planned Development District 70 (PD-70)*

SUMMARY

Hold a public hearing to discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC on behalf of John Arnold of the Skorburg Company for the approval of a PD Development Plan for a *General Retail Development/Shopping Center* on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property was annexed on February 6, 1961 by *Ordinance No. 61-02 [Case No. A1961-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council adopted *Ordinance No. 07-13 [Case No. Z2007-006]*, which rezoned a 395.075-acre tract of land -- *that included the subject property* -- from an Agricultural (AG) District to Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. The concept plan included with this Planned Development District designated the subject property for Single-Family 10 (SF-10) District land uses. On October 19, 2004, the City Council adopted *Ordinance No. 09-44 [Case No. Z2009-018]*, which amended the concept plan and development standards for Planned Development District 70 (PD-70). The amendment re-designated approximately seven (7) acres of the subject property to allow limited General Retail (GR) District land uses. This area was later expanded by *Ordinance No. 11-35 [Case No. Z2011-016]* to include the remainder of the subject property, re-designating the entire 8.63-acres for limited General Retail (GR) District land uses. On February 6, 2017, the City Council approved a PD Development Plan [*Ordinance No. 17-08; Case No. Z2016-049*] for the subject property in accordance with the requirements of Planned Development District 70 (PD-70). This development plan was for a proposed grocery store; however, the project was never pursued beyond the PD Development Plan, and the subject property has remained vacant since annexation.

PURPOSE

On November 16, 2021, the applicant -- *Bowen Hendrix of DuWest Realty, LLC* -- submitted an application requesting the approval of a PD Development Plan for the subject property. Specifically, the concept plan provided by the applicant shows two (2) ~10,000 SF multi-tenant retail buildings, a ~6,750 SF multi-tenant retail building, and a ~4,000 SF drive-through restaurant.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of E. Quail Run Road and N. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

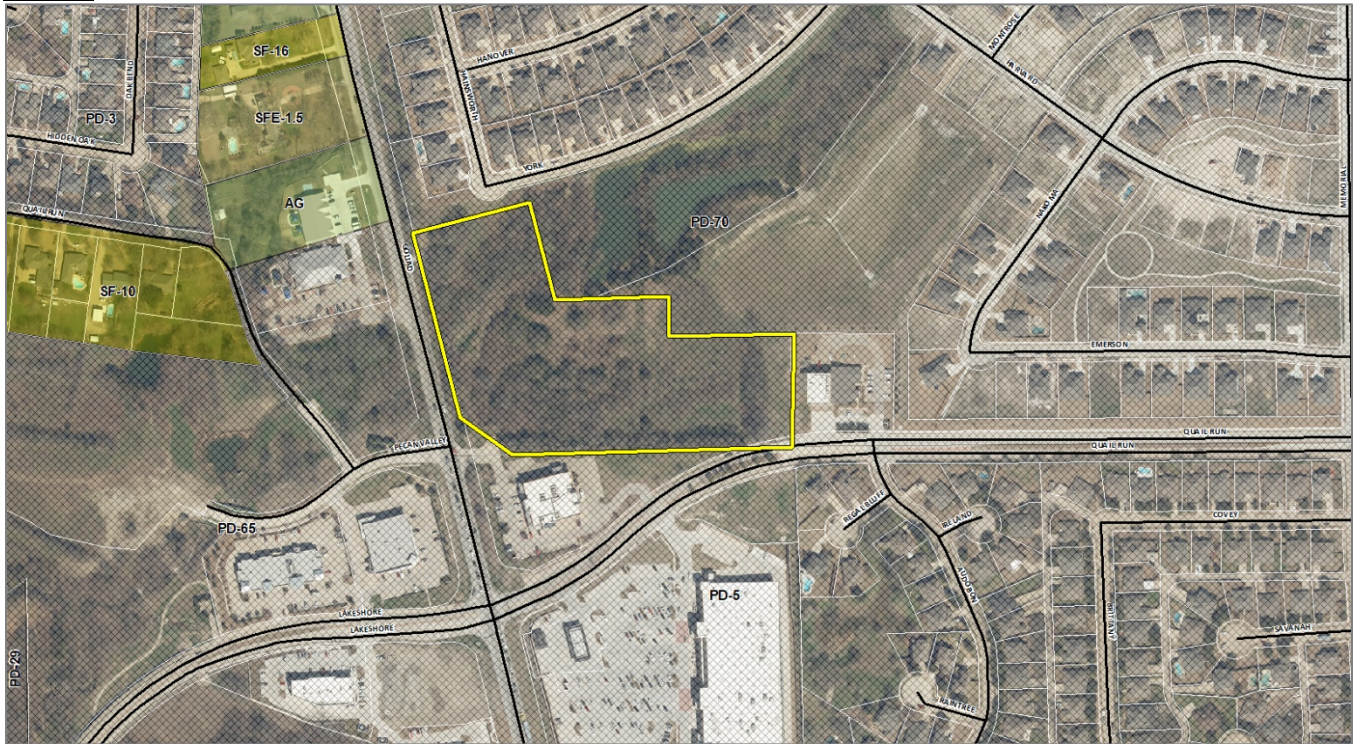
North: Directly north of the subject property is Phase 4 of the Stone Creek Subdivision, which was established on June 12, 2013 and consists of 59 single-family residential lots. Beyond this is Phase 1 of the Stone Creek Subdivision, which was established on August 28, 2008 and consists of 201 single-family residential lots. Both of these subdivisions are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

South: Directly south of the subject property is a 2.519-acre parcel of land (i.e. Lot 1R, Block B, Quail Run Retail) with a pharmacy (i.e. CVS Pharmacy) situated on it. Beyond this is E. Quail Run Road, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 11.236-acre parcel of land (i.e. Lot 1, Block A, Kroger 205 Addition) with a grocery store and gas station (i.e. Kroger Grocery Store and Fuel Center) situated on it. These properties are zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses.

East: Directly east of the subject property is a 1.512-acre parcel of land owned by the City of Rockwall, and which is occupied with a fire station (i.e. Fire Station #3). Beyond this is Phase 7 of the Stone Creek Subdivision, which was established on July 13, 2016 and consists of 80 single-family residential homes. These properties are zoned Planned Development District 70 (PD-70) for Public and Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is N. Goliad Street [SH-205], which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.174-acre parcel of land (i.e. Lot 1, Block A, Pecan Valley Retail Addition), which is occupied by a multi-tenant retail building.

FIGURE 1: LOCATION MAP WITH ZONING DESIGNATIONS AND PARCELS



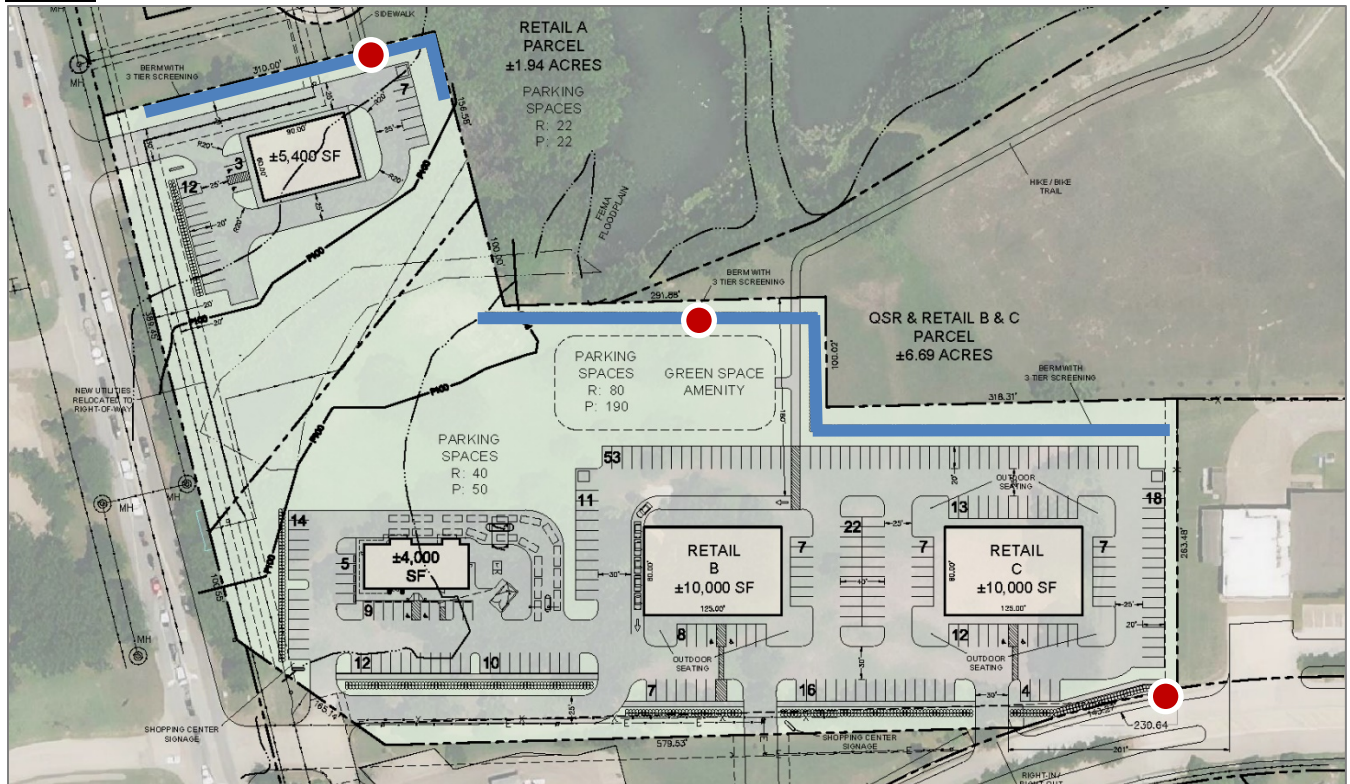
YELLOW: SUBJECT PROPERTY

CHARACTERISTICS OF THE REQUEST

According to Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(a) PD Development Plan is optional and is intended to be used where appropriate as the second step of the PD Development process. It may be required by the PD Ordinance, or it may be submitted voluntarily by the property owner." In this case, the subject property is designated as *Retail* on the *Concept Plan* contained within *Ordinance No. 19-41* [i.e. *Planned Development District 70 (PD-70)*]. This ordinance goes on to state that "(n)on-residential uses shall be allowed only within the area designated as *Retail* on the approved *Concept Plan* for the district [i.e. *Planned Development District 70 (PD-70)*], and are limited to those uses permitted of right [i.e. *by-right*] or by Specific Use Permit (SUP) for the General Retail (GR) District subject to the approval of a *PD Development Plan* and *PD Site Plan* ..." Since Planned Development District 70 (PD-70) requires the submittal of a PD Development Plan, staff requested that the applicant submit a PD Development Plan for the proposed development.

The purpose of *Ordinance No. 19-41* requiring a *PD Development Plan* is to ensure that “(t)he *Retail areas [are] ... designed to be pedestrian oriented and easily accessible to [the] adjacent residential neighborhoods.* Additionally, the retail area shall be designed and constructed to be integrated with adjacent uses, not separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from adjacent development into the retail area and through the use of landscaping buffers, building design and other urban design elements to create compatibility with the surrounding residential neighborhood.” The applicant has submitted a *Concept Plan* showing the proposed development will consist of two (2) ~10,000 SF multi-tenant retail buildings, a ~6,750 SF multi-tenant retail building, and a ~4,000 SF drive-through restaurant. In addition, the *Concept Plan* shows how the proposed development will create connections with the adjacent residential subdivision, and the proposed screening method for the development. Specifically, the applicant is proposing three (3) connection points to the adjacent Stone Creek Subdivision (see *Figure 2 below*): [1] a proposed sidewalk connection to the intersection of York Drive and Hainsworth Drive on the north side of the subject property, [2] a proposed sidewalk connection north of *Retail Building B* that will be located along the northside of the detention pond and connect to Harvard Drive, and [3] a proposed sidewalk that will run parallel to the southern property line and connect to the existing sidewalk along E. Quail Run Road. Staff should note, that since the sidewalk connections are proposed to connect to existing streets in the Stone Creek Subdivision on property owned by the Stone Creek Homeowners Associations’ (HOA), the applicant will need to work with the HOA to establish these connections. Based on this the applicant has submitted a letter stating that they have been in contact with the Skorburg Company (i.e. the current owner/operator of the Stone Creek HOA) and have requested their approval to proceed with the connections. The proposed screening will be located along the northern property line -- with the exception of the area in the 100-year floodplain -- and consist of three (3) tiered screening (i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers) and a berm. This should impair visibility of the proposed retail building from the adjacent, existing residential homes. In addition, the applicant is proposing a 20-foot landscape buffer in between the ~6,750 SF multi-tenant retail building and the residential homes in Phase 1 of the Stone Creek Subdivision. Staff should note that this conforms with the *Screening from Residential* standards contained in Article 08, *Landscape and Screening*, of the Unified Development Code (UDC).

FIGURE 2: PEDESTRIAN ACCESS POINTS AND PROPOSED SCREENING



BLUE: PEDESTRIAN ACCESS POINTS; **RED:** PROPOSED SCREENING

In addition to the *Concept Plan* showing the proposed screening and pedestrian access points, the applicant has submitted *Conceptual Building Elevations*. These elevations not only show what the appearance of the two (2) 10,000 SF multi-tenant retail buildings will be, but also the proposed outdoor dining areas and a proposed playground area (see *Figure 3 & 4 below*). Since the applicant has submitted these additional drawings staff has included conditions and requirements in the proposed PD

Development Plan ordinance requiring that these elements (*i.e. the outdoor dining area and proposed playground area*) be provided and generally conform to the submitted materials. In addition, staff has included a condition that the building elevations generally conform to the submitted *Conceptual Building Elevations*, but are subject to recommendations from the Architectural Review Board (ARB) and approval by the Planning and Zoning Commission.

FIGURE 3: OUTDOOR DINING AREA



FIGURE 4: PLAYGROUND



With regard to the proposed land uses, *Ordinance No. 19-41 [Planned Development District 70 (PD-70)]* does provide some prohibition of certain land uses that were perceived to be incompatible with the adjacent residential land uses (*e.g. hotel or motel, animal boarding/kennel with outside pens, mortuary or funeral chapel, garden supply/plant nursery, etc.*). Based on the applicant's *Concept Plan*, the proposed development will consist of multi-tenant retail buildings that could support retail, restaurant, and/or office land uses all of which are permitted *by-right* in a General Retail (GR) District; however, the two (2) proposed *Restaurants with 2,000 SF or more with Drive-Through or Drive-In* do require a Specific Use Permit (SUP) within a General Retail (GR) District. Since the PD Development Plan is not tied to establishing land uses on the subject property, these businesses will be required to apply and be approve for a Specific Use Permit (SUP) prior to being established. Staff should note, that both restaurants/drive-throughs appear to meet the *Residential Adjacency Standards* stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC), but staff will need to see the parcel layout for the proposed development before this can be verified. The *Residential Adjacency Standards* for a *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* require a minimum separation of 150-feet of any proposed building, structure, or device from a residentially zoned or used property.

Based on the submitted request, the applicant's proposed development does appear to meet the intent of the PD Development Plan requirement as outlined in Planned Development District 70 (PD-70) [*Ordinance No. 19-41*] and Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC); however, PD Development Plans are discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the applicant's *Concept Plan* and the proposed *Conceptual Building Elevations*, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. No roadway improvements are required with this development; however, a \$40,520.65 pro-rata fee for E. Quail Run Road will be required. In addition, according to Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(i)f deemed necessary by the City Engineer or Director of Planning and Zoning, the applicant for a PD Development Plan shall also submit an updated traffic impact analysis prior to commission action." In this case, a Traffic Impact Analysis (TIA) was not required by staff with the submittal of the PD Development Plan. The reasons behind

this action are as follows: [1] the property is currently zoned for the proposed land uses, [2] the Future Land Use designation for the subject property on the Future Land Use Map -- *which is what establishes the Master Thoroughfare Plan for the City of Rockwall* -- is in conformance with the existing zoning of the subject property, and [3] a Traffic Impact Analysis (TIA) will be required by the Texas Department of Transportation (TXDOT) at the time the civil engineering is submitted for the proposed ~6,750 SF multi-tenant retail building (*this is due to the driveway off of N. Goliad Street [SH-205]*). Staff should also note that since the plan conforms with the current zoning and future land use designation, the proposed impacts of the potential traffic increases were included when the Master Thoroughfare Plan was created.

- (2) Water. An eight (8) inch water line will need to be looped through the site from the 12-inch line adjacent to N. Goliad Street [SH-205] and connecting to either the eight (8) inch line at *Fire Station #3* or the eight (8) inch line adjacent to E. Quail Run Road.
- (3) Wastewater. The applicant will need to connect to the existing 18-inch wastewater line adjacent to N. Goliad Street [SH-205].
- (4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. This has already been submitted by the applicant. In addition, detention will be required and sized per *Manning's C-Value* for the zoning designation.

CONFORMANCE TO THE CITY'S CODES

The proposed PD Development Plan appears to conform to all of the requirements of Planned Development District 70 (PD-70) and the Unified Development Code (UDC); however, conformance of each building/site will be reviewed for compliance at the time of site plan if the PD Development Plan is approved by the City Council.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northwest Residential District and is designated for Commercial/Retail land uses on the Future Land Use Plan. According to the Comprehensive Plan, Commercial/Retail land uses are defined as "...single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent to residential subdivisions." In addition, the *District Strategies* for the Northwest Residential District state that "(t)he commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas should provide pedestrian access between the *Neighborhood/Convenience Centers* and the *Suburban Residential* developments." Based on these definitions the applicant's proposed development appears to conform to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

Looking at the goals and policies for *Commercial* developments contained in the Comprehensive Plan, the applicant's request does appear to be in conformance with all the applicable *Connectivity Goals* contained in the *Land Use* section of the plan. These goals and policies and the plans conformance are as follows:

GOAL 02 | CONNECTIVITY

Commercial/retail shopping centers should be pedestrian-oriented and easily accessible to adjacent residential and commercial developments.

- (1) Non-transparent fencing and masonry screening walls should be discouraged in areas between residential and commercial/retail shopping centers where a properly sized landscape buffer can be established.

Staff Comments. The *Concept Plan* is proposing to utilize three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) and a berm to separate the proposed commercial development from the adjacent existing residential subdivision. In addition, the applicant is utilizing a 20-foot landscape buffer adjacent to the ~6,750 SF multi-tenant retail building on the north side of the subject property.

- (2) Commercial/retail shopping centers should be screened from residential areas utilizing landscape buffers that are composed of berms, landscaping and trees.

Staff Comments. The *Concept Plan* is proposing to utilize three (3) tiered screening (i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers) and a berm to separate the proposed commercial development from the adjacent existing residential subdivision.

- (3) The design of commercial/retail shopping centers should incorporate streets, sidewalks and trails to ensure multi-modal access to adjacent residential and commercial developments.

Staff Comments. The proposed *Concept Plan* shows three (3) points of access utilizing trails and sidewalks to connect to the existing residential subdivision.

- (4) Commercial developments should be constructed with logical connections and extensions to the City's existing and proposed hike and bike trails.

Staff Comments. The proposed *Concept Plan* shows three (3) points of access utilizing trails and sidewalks to connect to the existing residential subdivision. These appear to be logical connections between the land uses.

Based on the above information and taking into account the proposed *Concept Plan* and *Conceptual Building Elevations*, the applicant's request appears to be in substantial conformance with the OURHometown Vision 2040 Comprehensive Plan.

NOTIFICATIONS

On November 17, 2021, staff mailed 65 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). Staff also notified the Stone Creek, Quail Run Valley, the Shores on Lake Ray Hubbard, Random Oaks/Shores, and Lakeview Summit Homeowner's Associations (HOAs), which were the only Homeowners' Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was drafted, staff had received the following:

- (1) Three (3) notices from the City's online *Zoning & Specific Use Permit Input Form* in opposition to the request from property owners outside of the 500-foot notification area.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a PD Development Plan, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the PD Development Plan ordinance; and,
- (2) Any construction resulting from the approval of this PD Development Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	not yet assigned*		
SUBDIVISION		LOT	BLOCK
GENERAL LOCATION	NEC E Quail Run Road and 205		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-70	CURRENT USE	Undeveloped land
PROPOSED ZONING	PD-70	PROPOSED USE	Commercial (Retail)
ACREAGE	8.684 AC	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT	DuWest Realty, LLC
CONTACT PERSON	CONTACT PERSON	Bowen Hendrix
ADDRESS	ADDRESS	4403 North Central Expressway Suite 200
CITY, STATE & ZIP	CITY, STATE & ZIP	Dallas, TX 75025
PHONE	PHONE	(214) 918-1804
E-MAIL	E-MAIL	bowen@duwestrealty.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

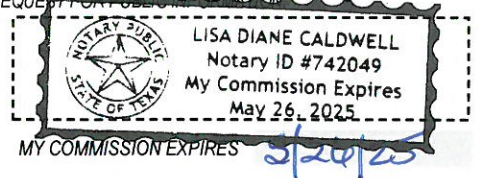
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$1500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF November, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

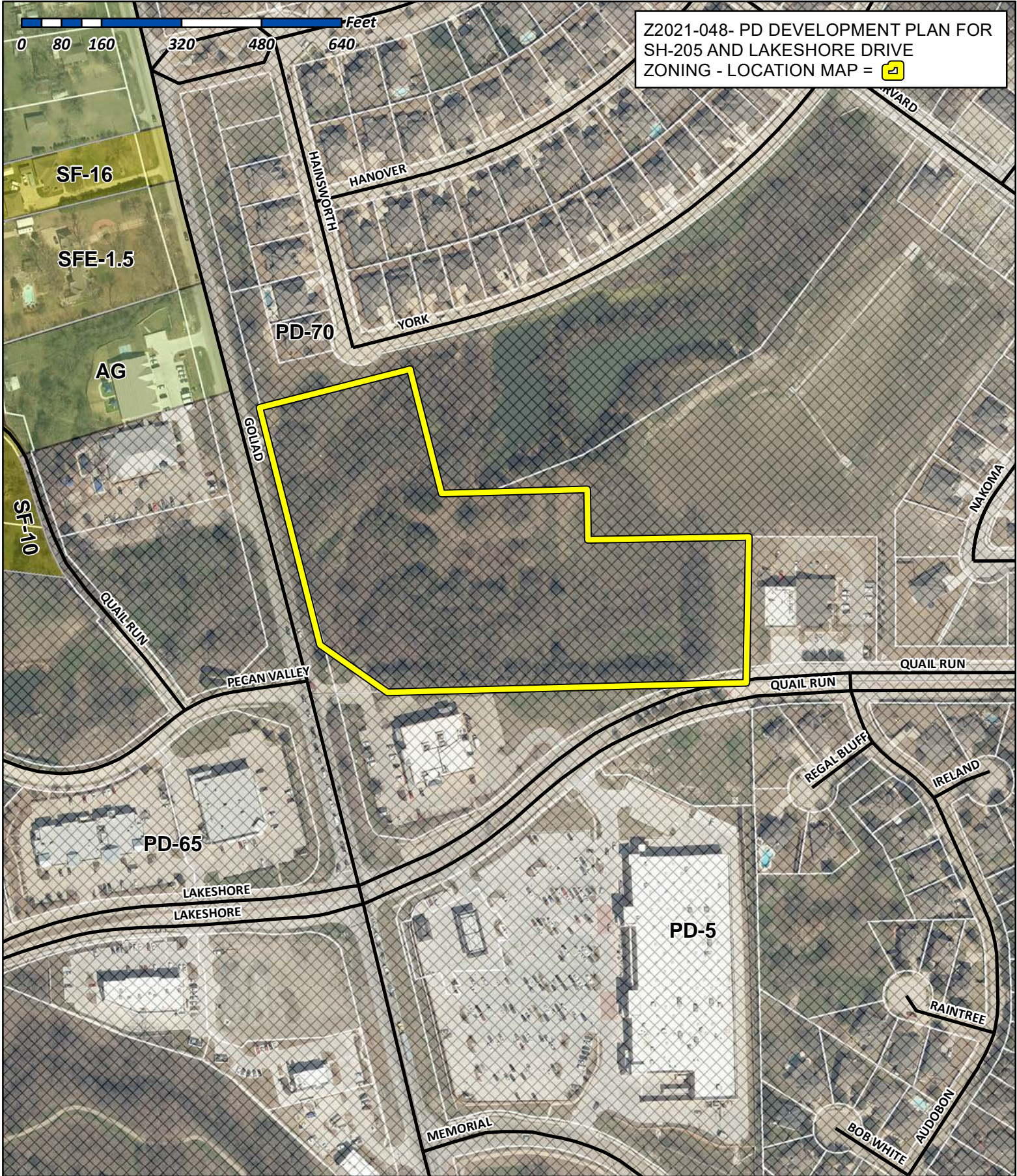
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF November, 2021.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Lisa Caldwell





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Miller, Ryan

From: Gamez, Angelica
Sent: Thursday, November 18, 2021 8:55 AM
Cc: Miller, Ryan; Reyna, Andrew; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-048]
Attachments: Public Notice (11.18.2021).pdf; HOA Map (11.16.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 26, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 14, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 20, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-048- PD Development Plan for General Retail Development/ Shopping Center

Hold a public hearing to discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC on behalf of John Arnold of the Skorburg Company for the approval of a *PD Development Plan* for a *General Retail Development/Shopping Center* on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [*SH-205*], and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

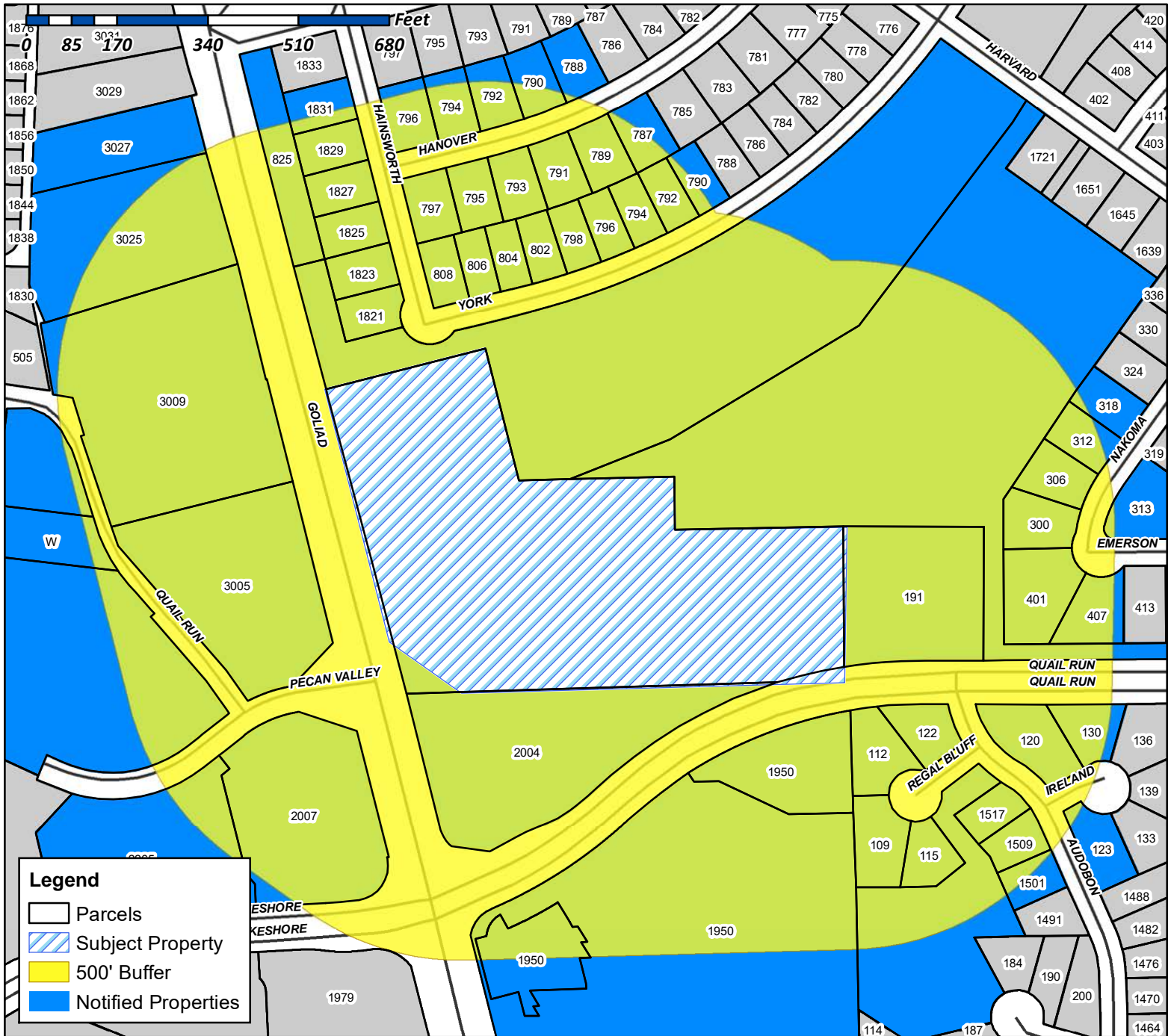
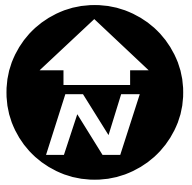
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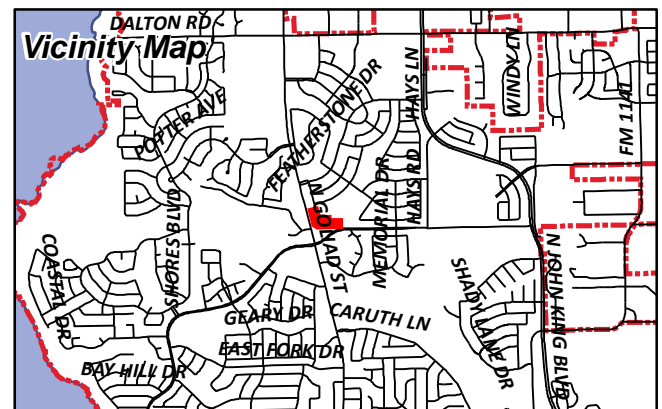
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-048
Case Name: PD Development Plan for SH-205 and Lakeshore Drive
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: By SH-205 & Lakeshore Drive
Date Created: 11/16/2021
 For Questions on this Case Call (972) 771-7745



KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

HAMPTON GEORGE T & BRENDA J
109 REGAL BLF
ROCKWALL, TX 75087

MCMILLAN GARY AND SANDI
112 REGAL BLUFF
ROCKWALL, TX 75087

HOWLETT NEVA RAE
115 REGAL BLUFF
ROCKWALL, TX 75087

RAMOS RAMON A & DELMA P
120 IRELAND CT
ROCKWALL, TX 75087

HPA TEXAS SUB 2018-1 ML LLC
120 S RIVERSIDE SUITE 2000
CHICAGO, IL 60606

CULPEPPER DANNA JOHNSON
122 REGAL BLUFF
ROCKWALL, TX 75087

HEIDENREICH ERIN K AND ADAM
123 IRELAND COURT
ROCKWALL, TX 75087

M REA PROPERTIES 2 LLC
1234 TRALEE LN
GARLAND, TX 75044

SCOTT MARK ALAN SR &
DOREEN
130 IRELAND CT
ROCKWALL, TX 75087

HELMER KALENA
1501 AUDOBON LN
ROCKWALL, TX 75087

FUNK AUDRA JOY
1509 AUDOBON LN
ROCKWALL, TX 75087

HARRIS PATRICIA A
1517 AUDOBON LN
ROCKWALL, TX 75087

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

MOORE MICHAEL RAY JR & STEPHANIE
1823 HAINSWORTH DRIVE
ROCKWALL, TX 75087

MILLER MATHEL JR
1825 HAINSWORTH DRIVE
ROCKWALL, TX 75087

ESCOBEDO OMAR & MARIA C
1827 HAINSWORTH DRIVE
ROCKWALL, TX 75087

HUA ALEXANDER AND THU THUY
1829 HAINSWORTH DR
ROCKWALL, TX 75087

AFFINITY DEVELOPMENT COMPANY LLC
1831 HAINSWORTHDR
ROCKWALL, TX 75087

CITY OF ROCKWALL
191E QUAIL RUN RD
ROCKWALL, TX 75087

KROGER TEXAS LP
1950 N GOLIAD
ROCKWALL, TX 75087

JAVKER REALTY CORP
2004 N GOLIAD
ROCKWALL, TX 75087

REBAC OF ROCKWALL, LLC
2007 N GOLIAD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
2265 NORTH LAKESHORE DR
ROCKWALL, TX 75087

QUAIL RUN VALLEY OWNERS ASSOC
C/O ASSURED MGT INC
2500 LEGACY DR STE 220
FRISCO, TX 75034

MACKIE EMILY & ANDREW STINSON
300 NAKOMA DRIVE
ROCKWALL, TX 75087

JCDB GOLIAD HOLDINGS LLC
C/O DA GOLIAD PARTNERS LP
3005 N GOLIAD ST
ROCKWALL, TX 75087

M REA PROPERTIES 2 LLC
3009 N GOLIAD
ROCKWALL, TX 75087

CLARK TROY & JANICE
3025 N GOLIAD ST
ROCKWALL, TX 75087

ROSS JODY ALAN & KAREY
3027 N GOLIAD ST
ROCKWALL, TX 75087

VELASQUEZ-EDMONDSON DANIELA AND
CHRISTOPHER SUAREZ
306 NAKOMA DRIVE
ROCKWALL, TX 75087

HUFF ELLIOTT AND TOBIE
312 NAKOMA DRIVE
ROCKWALL, TX 75087

CLARK ALLAN JR
313 NAKOMA DR
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CARLSON CURT AND MARIA
318 NAKOMA DRIVE
ROCKWALL, TX 75087

TYSON STEPHANIE AND CARY
401 EMERSON DRIVE
ROCKWALL, TX 75087

ETHERIDGE CHRIS
407 EMERSON DRIVE
ROCKWALL, TX 75087

JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

AFFINITY DEVELOPMENT COMPANY LLC
480 WILDWOOD FOREST DRIVE SUITE 801
THE WOODLANDS, TX 77380

REBAC OF ROCKWALL, LLC
6000 UNIVERSITY AVE STE 350
WEST DES MOINES, IA 50266

LAND GEOFFREY ALLISON & ERNANI MAXINE
787 HANOVER DR
ROCKWALL, TX 75087

CONFIDENTIAL
788 HANOVER DR
ROCKWALL, TX 75087

HOOVER THOMAS E AND CHELSEA L
789 HANOVER DRIVE
ROCKWALL, TX 75087

HPA TEXAS SUB 2018-1 ML LLC
790 HANOVER DR
ROCKWALL, TX 75087

KELLY TIMOTHY
790 YORK DRIVE
ROCKWALL, TX 75087

ALBRITTON MICHAEL H & ELAINE W LIVING
TRUST
MICHAEL H & ELAINE W ALBRITTON TRUSTEES
791 HANOVER DRIVE
ROCKWALL, TX 75087

DAVISON CHARLES DAVID AND NANCY JOAN
792 HANOVER DR
ROCKWALL, TX 75087

WILSON BRANDON CRAIG AND EMILY MARIE
792 YORK DR
ROCKWALL, TX 75087

HARP CHRISTOPHER J AND PENNY
793 HANOVER DR
ROCKWALL, TX 75087

HENRY JUSTIN WILLIAM AND MARIA
794 HANOVER DR
ROCKWALL, TX 75087

NUTTER GREG AND KRISTIN LARSON-NUTTER
794 YORK DRIVE
ROCKWALL, TX 75087

NURMI DOUGLAS B & LISA R
795 HANOVER DRIVE
ROCKWALL, TX 75087

CHAMBLESS WILLIAM AND HELEN GOMEZ-
SALVADOR
796 HANOVER DR
ROCKWALL, TX 75087

WEMPE MARK STEVEN AND SUSAN SPENCER
796 YORK DR
ROCKWALL, TX 75087

TUMULTY TIMOTHY M & KIM A
797 HANOVER DRIVE
ROCKWALL, TX 75087

DAVIS JAN ANNETTE AND DARRYL WAYNE
798 YORK DR
ROCKWALL, TX 75087

PODINA LAUREN ADRIA & MICHAEL
802 YORK DRIVE
ROCKWALL, TX 75087

CRANDALL BRANT
804 YORK DRIVE
ROCKWALL, TX 75087

REY LUIS SR AND JUDY L
806 YORK DR
ROCKWALL, TX 75087

ODEYEMI ADETUNJI
808 YORK DR
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD
8214 WESTCHESTER DRIVE SUITE 710
DALLAS, TX 75225

ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
825 GOLIAD ST
ROCKWALL, TX 75087

JCDB GOLIAD HOLDINGS LLC
C/O DA GOLIAD PARTNERS LP
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-048: PD Development Plan for a General Retail Development/ Shopping Center

Hold a public hearing to discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC on behalf of John Arnold of the Skorburg Company for the approval of a PD Development Plan for a General Retail Development/Shopping Center on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 14, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 20, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 20, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-048: PD Development Plan for a General Retail Development/ Shopping Center

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Goliad is way too congested, especially at that intersection. It's a nightmare as it is at that intersection, and it backs traffic all the way up to 66 during certain hours of the day.

Respondent Information

Please provide your information.

First Name *

Allison

Last Name *

Morahan

Address *

1349 White Water Ln

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

helloalimo15@gmail.com

Phone Number

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Received a property owner email

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

That area of land is a natural barrier between the retail south of Quail Run and the subdivision to its north. Putting in a retail space of that size will damage property values and increase an already clogged thoroughfare

Respondent Information

Please provide your information.

First Name *

Brad

Last Name *

Clark

Address *

2223 Hyer Dr

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

bclark6971@gmail.com

Phone Number

972-971-6556

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: HOA notification

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Has any hydraulic analysis been done to determine the flood-related impacts of this development on the existing creek? This is a FEMA Zone A stream, but it appears a detailed study was performed with the most recent LOMR's. It appears premature to approve the concept plan without this information.

Additionally, the location of the 4000 SF restaurant with the drive-thru is problematic. SH 205 is already a congested roadway. The location of the southwest driveway will cause issues with left turn movements to head south on SH 205. The background aerial on the concept plan coincidentally shows a traffic backup on SH 205.

Respondent Information

Please provide your information.

First Name *

Jeff

Last Name *

Thomas

Address *

669 Featherstone Dr.

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

goodag@hotmail.com

Phone Number

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

This content is neither created nor endorsed by Google.

Google Forms



November 15, 2021

City of Rockwall
385 South Goliad
Rockwall, TX 75087

Re: Retail Development on the NEQ of SH 205 and Quail Ridge

Mr. Miller,

We are working with The Skorburg Company to develop a neighborhood retail center complete with pad users on their existing land on the northeast quadrant of land at SH 205 and Quail Ridge. This letter serves as confirmation that we have been in communication with representatives at The Skorburg Company and have their approval to proceed with the necessary steps to deliver a high quality neighborhood center on their land. We will be working jointly with them to deliver a hike and bike trail that connects to their existing neighborhood to the north. By signing this letter below, The Skorburg company gives DuWest Realty a waiver to proceed with our development application and plans.

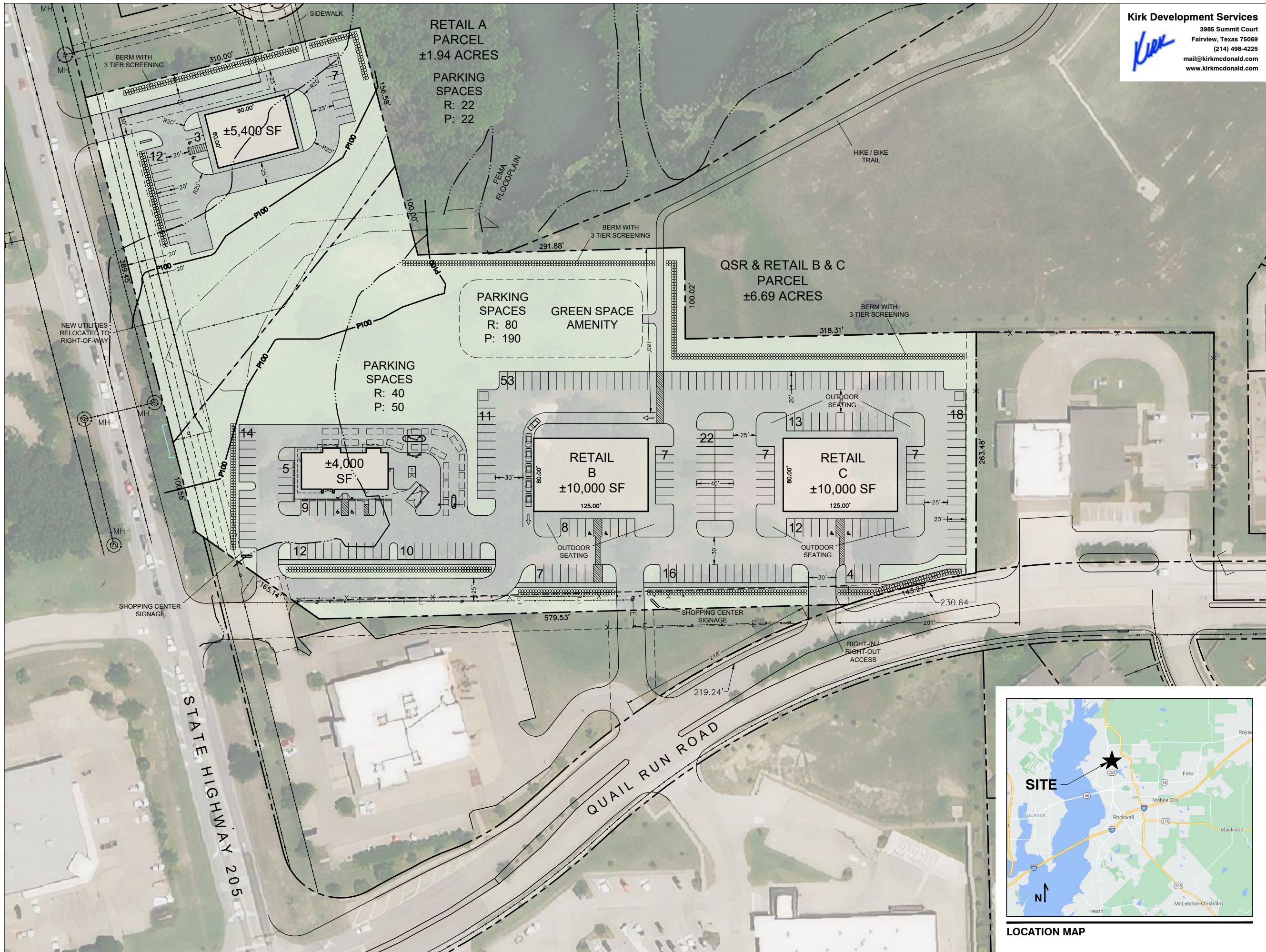
Sincerely,

A handwritten signature in blue ink that appears to read "BH".

Bowen Hendrix
Director of Development
DuWest Realty

A handwritten signature in black ink that appears to read "John Arnold".

John Arnold
Authorized Signer
The Skorburg Company



Kirk Development Services
 3985 Summit Court
 Fairview, Texas 75069
 (214) 498-4225
 mail@kirkmcDonald.com
 www.kirkmcDonald.com

DuWEST
 CREATING, ENHANCING & PROTECTING VALUE

4403 N. CENTRAL EXPY
 SUITE 200
 DALLAS, TEXAS 75205
 duwestrealty.com

PROJECT INFORMATION

SITE AREA

RETAIL A PARCEL	±1.94 ACRES
QSR & RETAIL B & C PARCEL	±6.69 ACRES
TOTAL	±8.63 ACRES

BUILDING AREA

RETAIL A	5,400 SF
RETAIL B	10,000 SF
RETAIL C	10,000 SF
QSR	4,000 SF
TOTAL	29,400 SF

PARKING SUMMARY

USER	RATIO REQUIRED	SPACES REQ'D	SPACES PROV'D
RETAIL A	1/250 SF	22	22
RETAIL B & C	1/250 SF	80	190
QSR	1/100 SF	40	50
TOTAL		142	262

ZONING CLASSIFICATION

JURISDICTION	CITY OF ROCKWALL
EXISTING ZONING	TBV
REQUIRED ZONING	TBV

- PROJECT NOTES**
- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY; SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING LANDSCAPE REQUIREMENTS MUST BE VERIFIED.
 - THIS SITE PLAN IS BASED ON AERIAL PHOTO DATA.
 - ALL CURB CUTS AND TRAFFIC SIGNALS SHOWN, EXISTING AND PROPOSED, MUST BE VERIFIED.

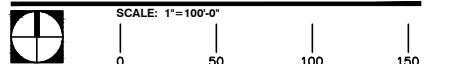
DRAWING ISSUE/REVISION RECORD

DATE	NARRATIVE	INITIALS
12/3/21	SCHEME 20	JKM

ROCKWALL TX
 STATE HIGHWAY 205
 & QUAIL RUN



LOCATION MAP



SCHEME 20
 Case Number (Z2021-048)

ROCKWALL, TX

DUWEST REALTY

CONCEPTUAL SITE PLANNING

CONTEXT



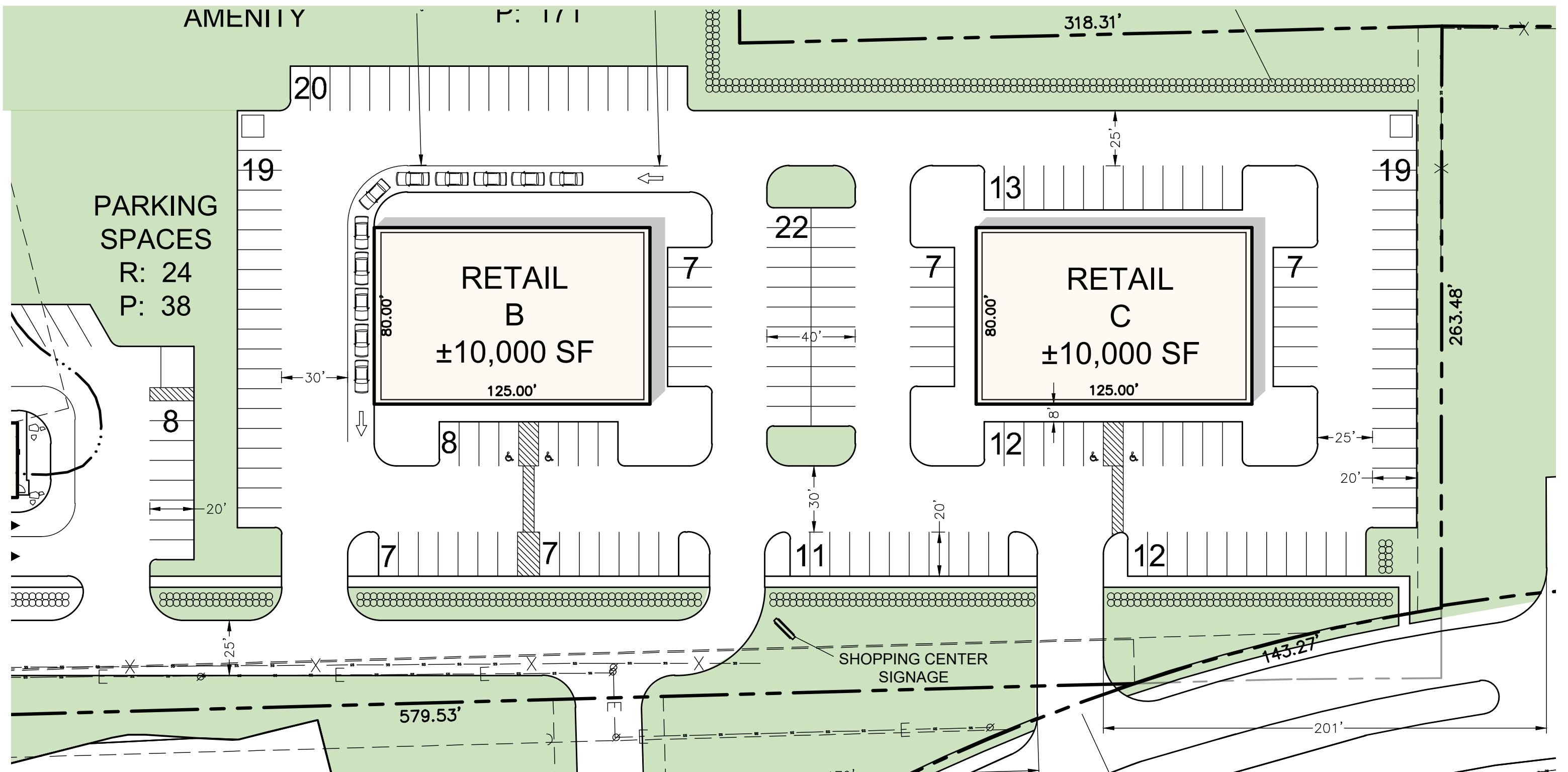
SITE PLANNING STUDY

DUWEST REALTY

STATE HWY 205 & QUAIL RUN RD.

modus architecture

CONCEPTUAL SITE PLAN



OVERALL DEVELOPMENT



SITE PLANNING STUDY

DUWEST REALTY

STATE HWY 205 & QUAIL RUN RD.

modus architecture

CONCEPTUAL PLANS AND IMAGES ARE FOR INFORMATIVE PURPOSES ONLY. OWNER/ARCHITECT OF RECORD TO VERIFY CODE COMPLIANCE AND CONSTRUCTABILITY REQUIREMENTS.

DATE: 09/28/2021

OVERALL DEVELOPMENT



SITE PLANNING STUDY

DUWEST REALTY

STATE HWY 205 & QUAIL RUN RD.

modus architecture

CONCEPTUAL PLANS AND IMAGES ARE FOR INFORMATIVE PURPOSES ONLY. OWNER/ARCHITECT OF RECORD TO VERIFY CODE COMPLIANCE AND CONSTRUCTABILITY REQUIREMENTS.

DATE: 09/28/2021

OVERALL DEVELOPMENT



SITE PLANNING STUDY

DUWEST REALTY

STATE HWY 205 & QUAIL RUN RD.

modus architecture

CONCEPT STUDY



SITE PLANNING STUDY

DUWEST REALTY

STATE HWY 205 & QUAIL RUN RD.

modus architecture

CITY OF ROCKWALL

ORDINANCE NO. ~~22-XX~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 70 (PD-70) [ORDINANCE NO.'S 17-08, & 19-41] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR A GENERAL RETAIL SHOPPING CENTER ON AN 8.63-ACRE PORTION OF A LARGER 36.428-ACRE TRACT OF LAND IDENTIFIED AS TRACT 3 OF THE S. KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Bowen Hendrix of DuWest Realty, LLC on behalf of John Arnold of the Skorburg Company for the approval of a PD Development Plan for the development of a general retail shopping center within Planned Development District 70 (PD-70) [Ordinance No.'s 17-08, & 19-41] on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas and being more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 70 (PD-70) [Ordinance No.'s 17-08, & 19-41] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 17-08*.

SECTION 2. That Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 19-41* and the official zoning map of the City of Rockwall so as to approve a *PD Development Plan* for the *Subject Property*; and,

SECTION 3. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 70 (PD-70) [Ordinance No. 19-41], the Unified

Development Code (UDC) [Ordinance No. 02-02], and in compliance with the following conditions and requirements:

- (1) The development of the *Subject Property* shall generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (2) *Retail Buildings 'B' & 'C'* -- as depicted in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Concept Building Elevations* contained in *Exhibit 'D'* of this ordinance; however, the elevations submitted with the *PD Site Plan* shall require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission.
- (3) Outdoor seating areas shall be permitted in conformance with the *Concept Pedestrian Centers* depicted in *Exhibit 'E'* of this ordinance.
- (4) The development of the *Subject Property* shall incorporate a private passive/active greenspace amenity that is generally in the same location as depicted in *Exhibit 'C'* of this ordinance and that generally conforms to the *Concept Passive/Active Greenspace Amenity* in *Exhibit 'F'* of this ordinance.
- (5) The pedestrian pathways provided adjacent to the southern property boundary shall be generally as depicted in the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (6) Trails connecting to the adjacent residential subdivision shall generally be constructed as depicted in the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.

SECTION 4. The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF JANUARY, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 20, 2021

2nd Reading: January 3, 2022

Exhibit 'A':
Legal Description

BEING a tract of land situated in the S. King Survey, Abstract No.131, City of Rockwall, Rockwall County, Texas and being part of a tract of land described in Special Warranty Deed to Stone Creek Balance, LTD, recorded in Instrument No. 2007000375394, Official Public Records, Collin County, Texas, and being part of a tract of land described in Special Warranty Deed to Meritage Homes of Texas, LLC, recorded in Instrument No. 20150000013037, Official Public Records, Rockwall County, Texas, and being part of Lot 27, Block A, of Stone Creek Phase VII, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20160000011737, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a Concrete Monument found at the north corner of a right-of-way corner clip for the east right-of-way line of State Highway 205 (N Goliad Street - a variable width right-of-way)

THENCE with said east right-of-way line, North 14°18'59" West, a distance of 100.00 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;

THENCE departing said east right-of-way line, North 38°46'11" East, a distance of 387.72 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set in a south line of Lot 8, Block D, Stone Creek Phase IV, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet H, Slide 317, Plat Records, Rockwall County, Texas;

THENCE with the south line of said Lot 8, the following course and distances, to wit:

South 14°18'59" East, a distance of 100.00 feet to a 1/2-inch iron rod with plastic cap stamped "CORWIN" found;

North 88°26'01" East, a distance of 96.46 feet to a 1/2-inch iron rod with plastic cap stamped "CORWIN" found at the most westerly southwest corner of said Lot 28;

THENCE with the south line of said Lot 28, North 88°27'32" East, passing at a distance of 195.78 feet a 1/2-inch iron rod with plastic cap stamped "CORWIN" found for a south corner of said Lot 28, departing said south line and continuing in all a total distance of 513.73 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;

THENCE South 0°02'44" West, passing at a distance of 101.33 feet the north west corner of a tract of land described as Quail Run Fire Station recorded in Special Warranty Deed to The City of Rockwall, recorded in Vol. 5635, Pg. 211, Deed Records, Rockwall County, Texas, and continuing with the west line of said Quail Run Fire Station, passing at a distance of 262.60 feet the southwest corner of said Quail Run Fire Station, continuing with the north right-of-way line of Quail Run Drive (a variable width public right-of-way) in all a total distance of 395.49 feet to a point for corner;

THENCE with said north right-of-way line, South 89°34'22" West, a distance of 67.13 feet to a point for corner for the northeast corner of Lot 1, Block B of Quail Run Retail, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet E, Slide 67, Plat Records, Rockwall County, Texas;

THENCE with the north line of said Lot 1, South 88°24'25" West, a distance of 650.72 feet to a 1/2-inch iron rod with plastic cap stamped "CARTER & BUGESS" found at the southeast corner of said right-of-way corner clip;

THENCE departing said north line and with said corner clip, North 54°44'35" West, a distance of 165.14 feet to the **POINT OF BEGINNING** and containing 7.456 acres or 324797 square feet of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

Exhibit 'B':
Location Map

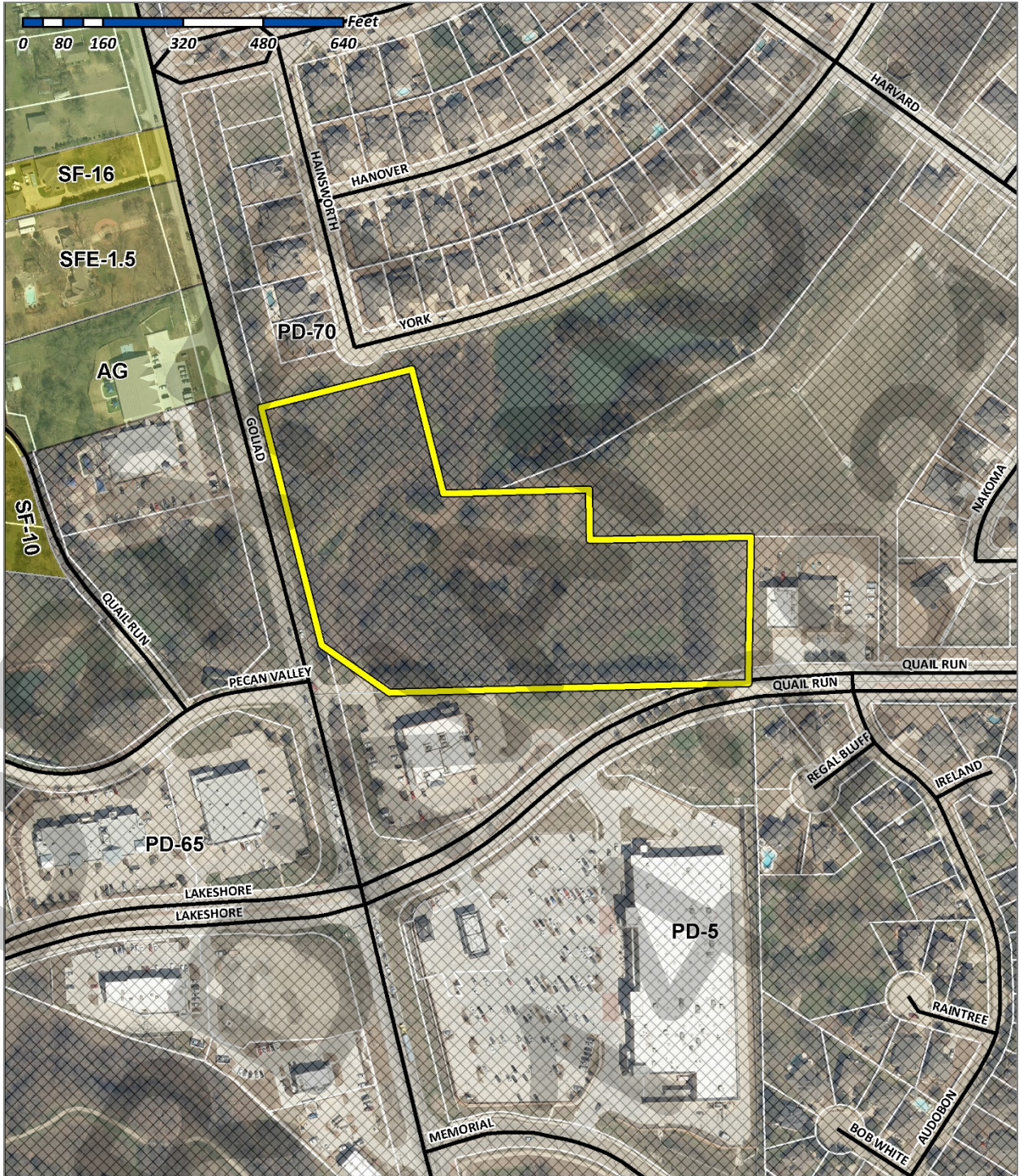


Exhibit 'C':
Concept Plan

DuWest
Development Services
4403 N. CENTRAL EXPY
SUITE 200
DALLAS, TEXAS 75206
duwestdev.com

PROJECT INFORMATION

STATE PARCEL: 41.84 ACRES
OSR & RETAIL B & C PARCEL: ±6.68 ACRES
TOTAL: ±8.83 ACRES

BUILDING AREA

RETAIL A: 6,750 SF
RETAIL B: 10,000 SF
RETAIL C: 10,000 SF
TOTAL: 36,750 SF

PARKING SUMMARY

USE	REQUIRED	SPACES PROVIDED
RETAIL A	100	100
RETAIL B & C	174	174
TOTAL	274	274

ZONING CLASSIFICATION

CITY OF ROCKWALL: TBK
EXISTING ZONING: TBK
REQUIRED ZONING: TBK

PROJECT NOTES

- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. IT IS NOT A CONTRACT DOCUMENT.
- THE SITE PLAN IS BASED ON AERIAL PHOTO DATA.
- ALL CURB CUTS AND TRAFFIC SIGNALS SHALL OBTAIN AND POST APPROVAL FROM THE CITY OF ROCKWALL.
- THE SITE PLAN IS SUBJECT TO THE CITY OF ROCKWALL'S FINAL REVIEW AND APPROVAL.

ROCKWALL, TX
STATE HIGHWAY 205
& GOALL RUN

SCALE: 1" = 100'

SCHEME 16

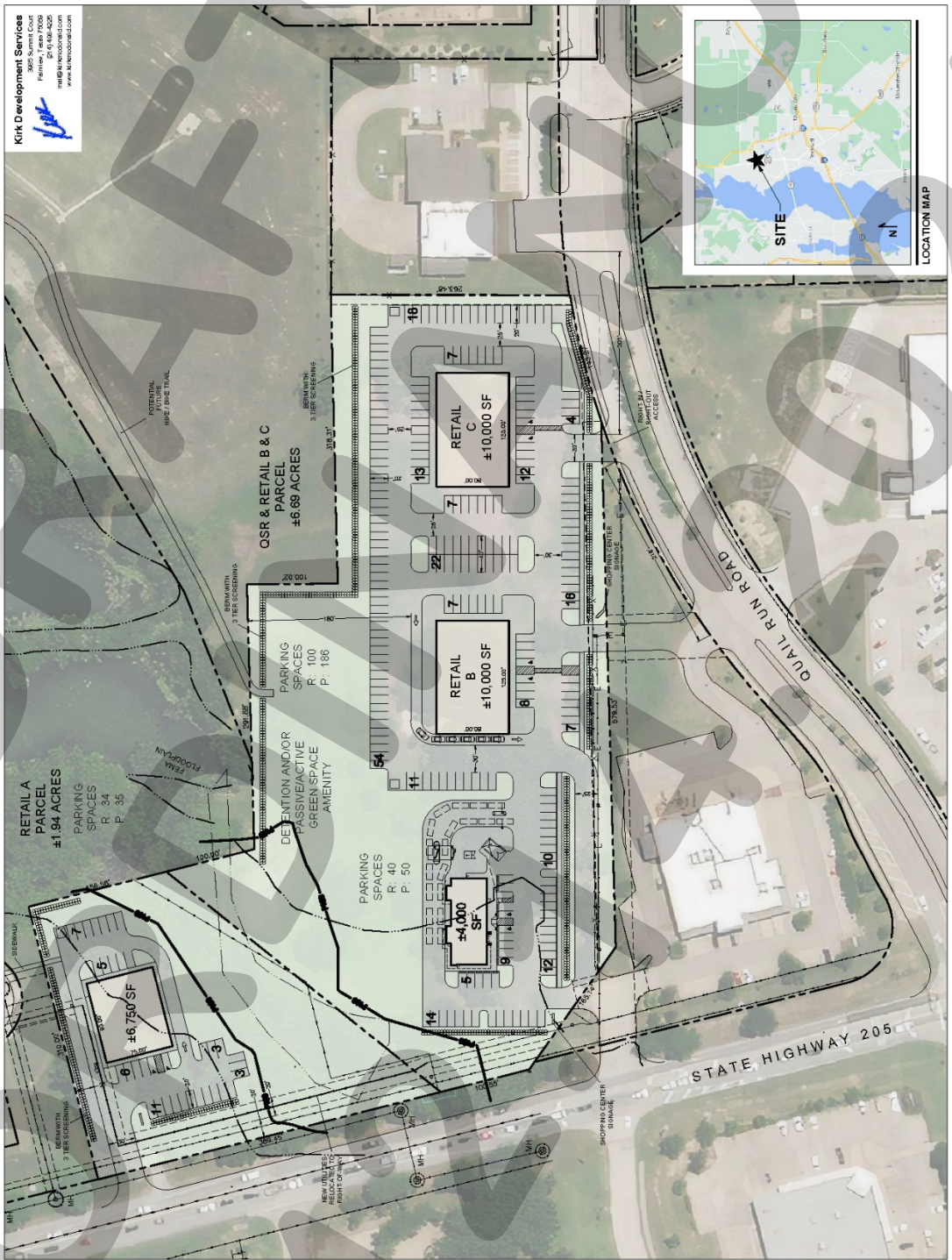


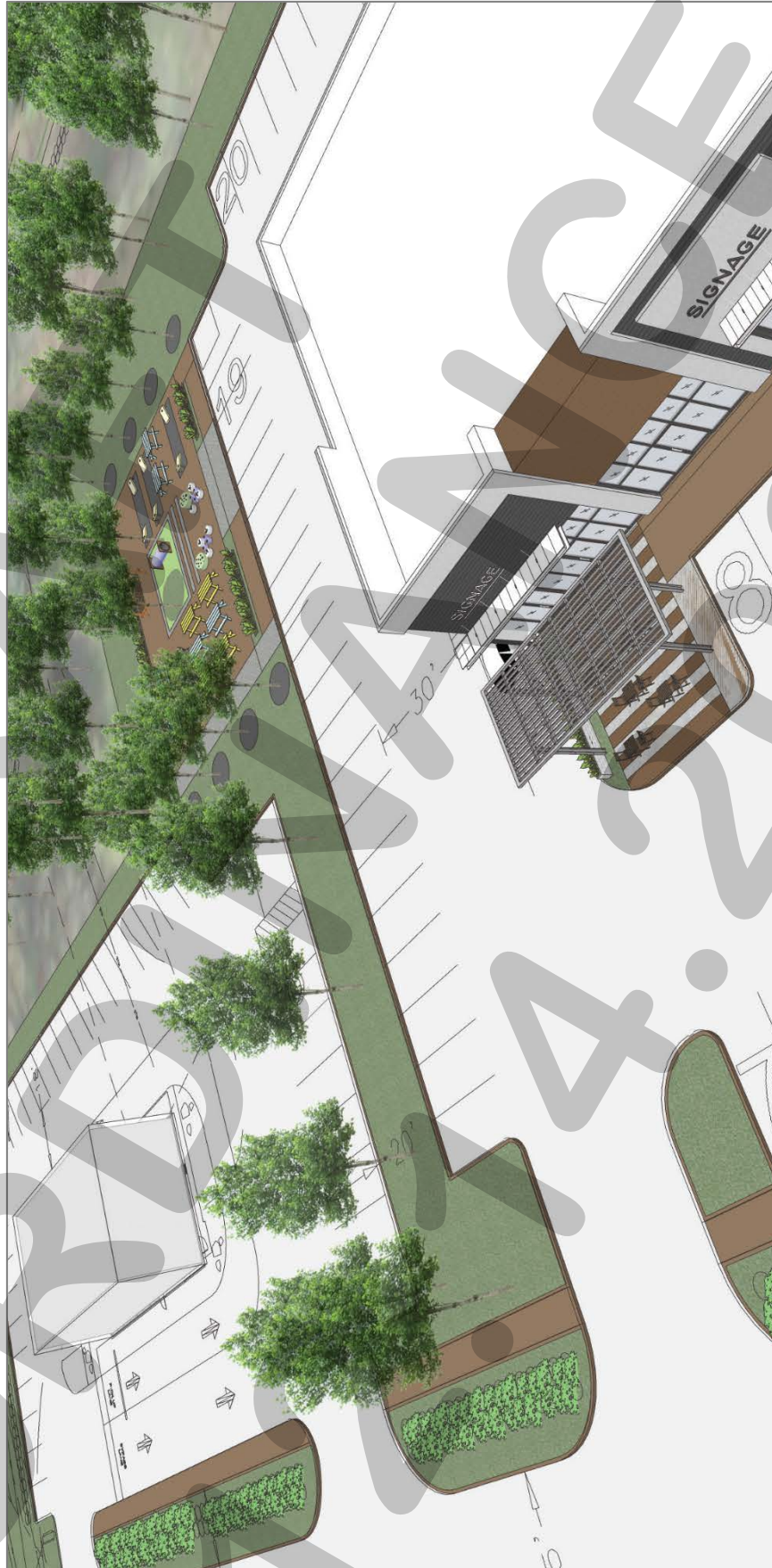
Exhibit 'D':
Concept Building Elevations



Exhibit 'E':
Concept Pedestrian Centers



Exhibit 'F':
Concept Passive/Active Greenspace Amenity





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 14, 2021
APPLICANT: Drew Donosky; *Claymoore Engineering*
CASE NUMBER: Z2021-049; *Specific Use Permit (SUP) for the Expansion of an Existing Motor Vehicle Dealership at 1540 E. IH-30*

SUMMARY

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 12-11 [S-094]* and allowing the expansion of an existing *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 1, Block 1 and Lot 1, Block 2, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (*i.e. Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership* on property. The changes to the exterior of the building were approved under site plan *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (*i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (*i.e. 256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013.

In 2017, the current owner purchased the property, and no additional changes have been made to the subject property since the completion of the remodel in 2013.

PURPOSE

The applicant -- *Drew Donosky of Claymoore Engineering* -- is requesting the amend the previously approved Specific Use Permit (SUP) to allow for the expansion of an existing *Motor Vehicle Dealership* as stipulated by Subsection 02.03 (H), *Auto and Marine-Related Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a *Motor Vehicle Dealership* (i.e. *Clay Cooley Hyundai of Rockwall*). The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (i.e. *North Texas Appliance*), a house of worship (i.e. *Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (i.e. *Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (i.e. *Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a *Motor Vehicle Dealership* (i.e. *Rockwall Honda*), which is situated on an 8.686-acre parcel of land (i.e. *Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (i.e. *Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (i.e. *Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership* (i.e. *S-189; Ordinance No. 18-22*). Beyond this are two (2) metal buildings (i.e. *Warehouse Pro and Elliott Electric Supply*) on one (1) tract of land (i.e. *Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (i.e. *Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE

On June 18, 2012, the City Council approved Specific Use Permit (SUP) S-094 [*Ordinance No. 12-11*] permitting a *New Motor Vehicle Dealership* on the subject property. Included as operational conditions in this ordinance, the applicant was to comply with the approved conceptual site plan and building elevations. Recently, the applicant approached staff about expanding and rebranding the *Motor Vehicle Dealership*. Staff explained to the applicant that since their Specific Use Permit (SUP) was tied to the approved conceptual site plan and building elevations, that the existing Specific Use Permit (SUP) ordinance would need to be amended. This prompted the applicant to submit a request to amend their Specific Use Permit (SUP) and incorporate a concept plan showing the expansion of the concrete vehicle display storage lot, the addition of two (2) new buildings (i.e. *minor auto repair garage and car wash*), an increase in the size of the existing building, and conceptual building elevations showing changes to the exterior of the existing building.

According to Subsection 02.03 (H)(6), *Permissible Uses*, of the Unified Development Code (UDC), "(a)ll outside display of vehicles must be on an approved concrete, or enhanced concrete surface." Currently, staff has analyzed multiple aerial images showing that vehicle inventory is being stored on the unimproved grass surfaces at the back of the subject property, and in the right-of-way of Commerce Street. Staff should note, that the applicant received a Specific Use Permit (SUP) for outside storage/outside display for new vehicles on the adjacent property to the west of the subject property. Aerial images also confirm that on this adjacent property vehicles are being stored on unimproved grass surfaces. To bring the subject property into conformance two (2) operational conditions have been included in the draft ordinance that state that no vehicles shall be stored in the Commerce Street right-of-way and that no vehicles shall be stored on an unimproved surface.

Behind the existing building where the vehicle display storage lot is to be expanded, the applicant has proposed a *Car Wash* and *Minor Auto Repair Garage*. With regard to the *Car Wash*, according to Subsection 02.03 (H)(4), *Permissible Uses*, of the Unified Development Code (UDC), "(o)n corner sites, car wash entrances or exits shall not open toward the street with the highest traffic volume." The proposed site plan is in conformance with this requirement as the car wash is facing Commerce Street, a *Minor Collector*, not IH-30. To avoid losing square footage where vehicles are stored while they are being worked on in the existing service center, the proposed *Minor Auto Repair Garage* is detached from the existing building. According to

Subsection 02.03 (H)(2), *Permissible Uses*, of the Unified Development Code (UDC), “a *Minor Auto Repair Garage* is permitted as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building.” In this case the proposed *Minor Auto Repair Garage* is completely enclosed and located behind the existing building. As part of the *Minor Auto Repair Garage* the proposed use will have open storage. The applicant’s letter indicates that the subject property has existing open storage lot associated with the existing service center. This lot was established without a permit, is not shown on the approved Specific Use Permit (SUP), and not indicated on the approved site plan. To remedy this for the existing service center and proposed *Minor Auto Repair Garage*, the applicant indicates this area will receive improved paving and screening to satisfy Subsection 02.03 (H2) of Article 08, *Landscape and Screening*, of the UDC.

According to Subsection 03.02, *Applicability*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) an amended site plan will be required if “...(a)ll expansions of an existing non-residential building or structure that increases the existing floor area by 30% or that adds 2,000 SF of floor area.” In conformance with this requirement the applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan indicating conformance to the current requirements of the UDC. In order to demonstrate conformance with all of the use requirements detailed in Subsection 02.03 (H)(6) of Article 04, *Permissible Uses*, of the UDC the applicant has submitted concept elevations that will be included in the SUP ordinance. Additionally, all future submittals shall be required to generally adhere to these building elevations.

STAFF ANALYSIS

In this case, the applicant’s request generally conforms with the requirements set forth by Subsection 02.03 (H), *Auto and Marine-Related Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). However, while reviewing the case staff identified unpermitted improvements and activities on the subject property (*i.e. a metal screening fence, unscreened outside storage areas, a lift for working on cars outside, and the outside storage of tires*) that do not meet the requirements set forth in the Unified Development Code (UDC). The existing outside storage of tires is located at the rear of the existing building and is associated with the service center. That being said the outside storage does not meet Subsection 02.03 (J)(2), *Outside Storage and/or Outside Display*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), which states that no outside storage may be allowed on properties adjacent to IH-30; however, this property is zoned Light Industrial (LI) District, which allows the City Council to consider *Outside Storage* on a *case-by-case* basis as part of a Specific Use Permit (SUP). In this case, the applicant has never applied for Specific Use Permit (SUP) for the *Outside Storage* of tires. Associated with the unapproved *Outside Storage* is a lift for working on vehicles, which is also located at the rear of the existing building. Equipment associated with a *Minor Auto Repair Garage* may be stored outside as long as the City Council approves a Specific Use Permit (SUP) request for such activity, with the subsequent screening. Staff should note that *no work on motor vehicles shall be permitted outside of a fully enclosed building.* The storage lot at the rear of the existing building (*i.e. that contains the outside storage of tires, the car lift, and the cars being repaired by the existing service center*) has areas that are not screened or screened by a metal fence that was not permitted by the City. This fence will need to be removed and replaced with screening permitted by the Unified Development Code (UDC). In addition, -- *and as was described in the previous sections of the case memo* -- staff analyzed several aerials of the property that showed that motor vehicle inventory was being stored on unimproved grass surfaces and along Commerce Street. Staff included operational conditions within the draft ordinance that address all of these issues. With that being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On October 24, 2021, staff mailed 17 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner’s Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a *Specific Use Permit (SUP)* for the expansion of an existing *Motor Vehicle Dealership*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The development or redevelopment of the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
 - (c) The outside storage of tires or any other automotive parts shall be prohibited.
 - (d) All outside storage shall be screened with either a masonry wall or three (3) tiered screening with a berm. At the time of site plan all outside storage must be delineated.
 - (e) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
 - (f) No vehicle display areas shall be permitted within the required landscape buffers along IH-30 and Commerce Street.
 - (g) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored on an unimproved surface.
 - (h) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored within the Commerce Street right-of-way (*i.e. Commerce Street is for public parking only*).
- (2) All unpermitted improvements and activities that do not conform to the Unified Development Code (UDC) shall be brought into conformance with the City's code requirements at the time of site plan.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1540 I30 Rockwall TX		
SUBDIVISION	Rockwall Recreational Addition	LOT	1&2 BLOCK 1
GENERAL LOCATION	IH30 & Clay Cooley Drive		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	F1	CURRENT USE	Auto Dealer
PROPOSED ZONING		PROPOSED USE	
ACREAGE	7.17	LOTS [CURRENT]	2
		LOTS [PROPOSED]	

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	1540 East IH 30 Rockwall LLC	<input checked="" type="checkbox"/> APPLICANT	Claymoore Engineering
CONTACT PERSON	Clay Cooley	CONTACT PERSON	Drew Donosky
ADDRESS	PO Box 570809	ADDRESS	1903 Central Drive, Suite 406
CITY, STATE & ZIP	Dallas TX 75357	CITY, STATE & ZIP	Bedford TX 76012
PHONE		PHONE	817-458-4008
E-MAIL		E-MAIL	Drew@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

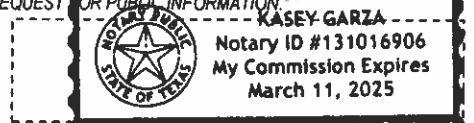
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Clay Cooley (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ November TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF November, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

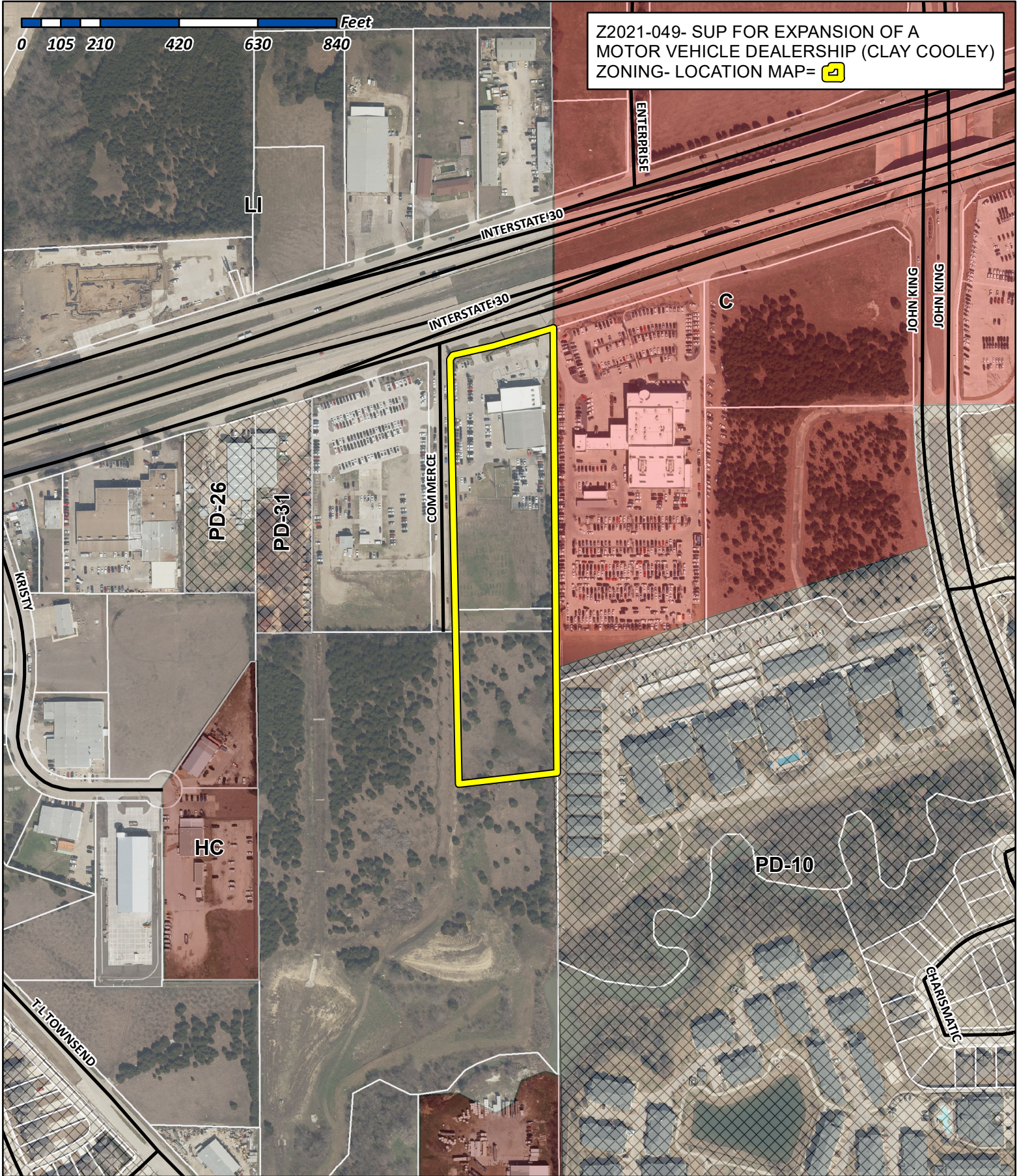
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November 2021

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 03/11/2025



Z2021-049- SUP FOR EXPANSION OF A MOTOR VEHICLE DEALERSHIP (CLAY COOLEY) ZONING- LOCATION MAP= [pin icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

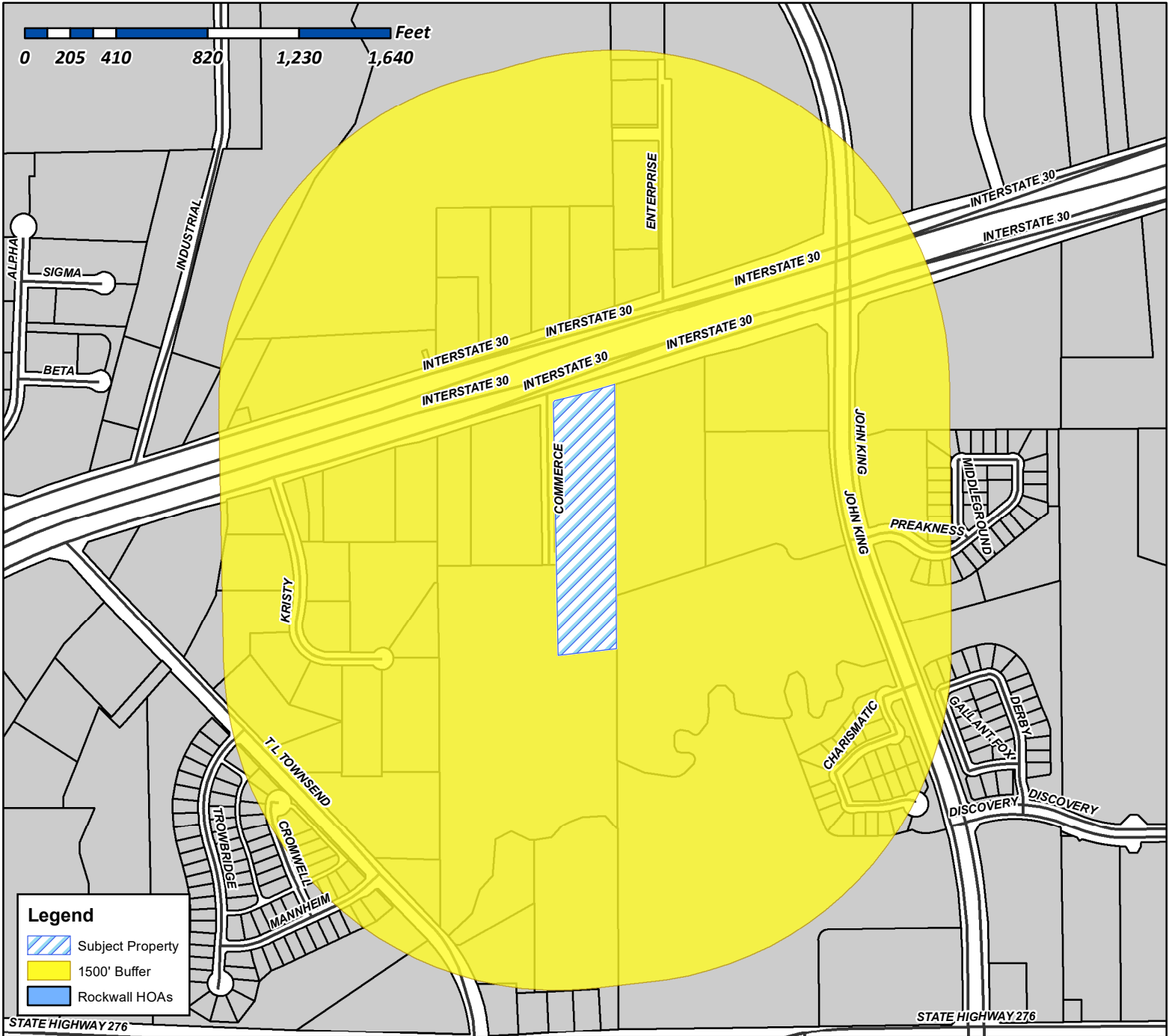




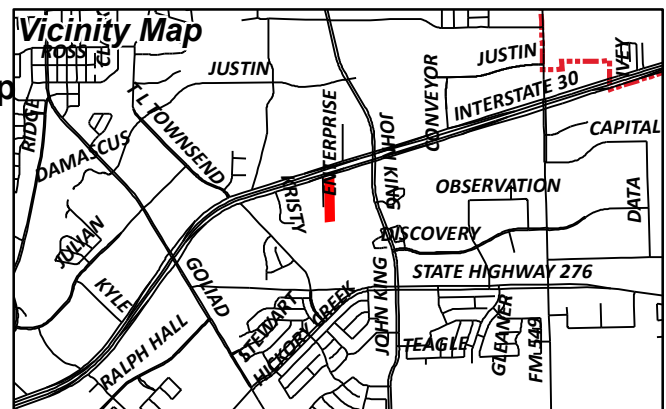
City of Rockwall

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Case Number: Z2021-049
Case Name: Expansion of Motor Vehicle Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1540 E. I-30



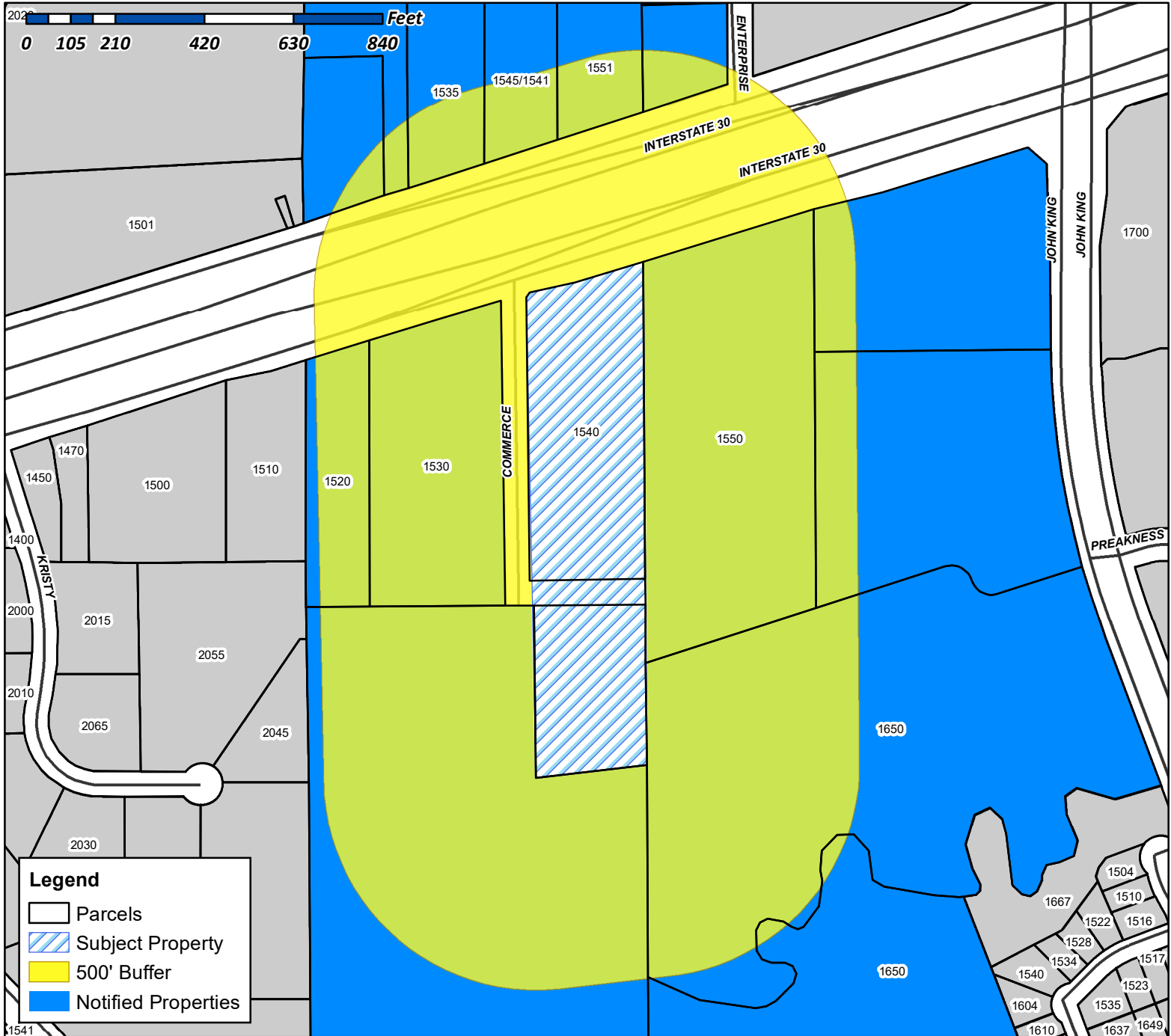
Date Created: 11/16/2021
 For Questions on this Case Call (972) 771-7745



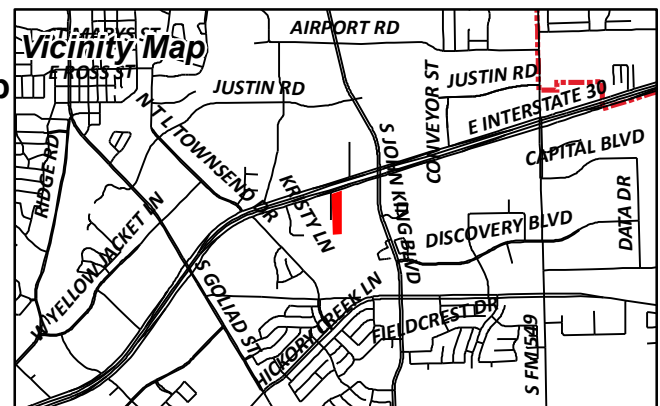
City of Rockwall

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Zoning: Light Industrial (LI) District
Case Address: 1540 E. I-30



Date Created: 11/16/2021
 For Questions on this Case Call (972) 771-7745

LITHIA REAL ESTATE INC
150 N BARTLETT STREET
MEDFORD, OR 97501

ROCKWALL CREDIT SERVICES LC
1520 E I30
ROCKWALL, TX 75087

1540 EAST IH 30 ROCKWALL LLC
1530 S I30
ROCKWALL, TX 75087

ZBH/1535 E INTERSTATE 30 LTD
1535 I30
ROCKWALL, TX 75087

1540 EAST IH 30 ROCKWALL LLC
1540 I30
ROCKWALL, TX 75087

DYNACAP HOLDINGS LTD &
CHARLES SMITH
1545/1541 I30
ROCKWALL, TX 75087

LITHIA REAL ESTATE INC
1550 E I30
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP
A TEXAS LTD PARTNERSHIP
1551 E INTERSTATE 30 STE A
ROCKWALL, TX 75087

STAR HUBBARD LLC
C/O STEADFAST COMPANIES
1650 S JOHN KING
ROCKWALL, TX 75087

STAR HUBBARD LLC
C/O STEADFAST COMPANIES
18100 VON KARMAN SUITE 500
IRVINE, CA 92612

DVB FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

DYNACAP HOLDINGS LTD &
CHARLES SMITH
709 W RUSK ST STE B
ROCKWALL, TX 75087

CAMBRIDGE PROPERTIES INC
C/O GARRETT POINDEXTER
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

ZBH/1535 E INTERSTATE 30 LTD
9669 JOURDAN WAY
DALLAS, TX 75230

ROCKWALL CREDIT SERVICES LC
PO BOX 1870
ROCKWALL, TX 75087

1540 EAST IH 30 ROCKWALL LLC
PO BOX 570809
DALLAS, TX 75357

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-049: SUP for Expansion of Existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 12-11 [S-094] and allowing the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 1, Block 1 and Lot 1, Block 2, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 14, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 20, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 20, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-049: SUP for Expansion of Existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: _____
Address: _____

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



November 16, 2021

Planning Dept.
City of Rockwall
385 S Goliad St.
Rockwall, Texas 75087

Re: SUP Zoning Request
Letter of Intent

To Whom It May Concern,

Please let this letter serve as the Letter of Intent for the SUP Zoning request of approximately 7.17 acres of land located off I-30 in Rockwall, Texas. It is our understanding that a SUP rezoning is required to amend the site plan and building elevations on the subject tract. The proposed development will include a building renovation, expansion on the front façade, expanded service canopy, addition of a new customer delivery canopy, a carwash, and an oil/lube building. The property currently has open storage in the rear of the building that is non-conforming. This SUP requests this area be allowed given improved screening and paving are to be provided as a part of this project.

Should you have any questions, please feel free to contact me.

Sincerely,

Claymoore Engineering, Inc.
1903 Central Drive Ste. 406
Bedford, TX 76021
817-281-0572


A handwritten signature in blue ink, appearing to read "Matt Moore".

Matt Moore, P.E.

INCOMPLETE CONSTRUCTION DOCUMENTS

THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.
 (TBAE - EFFECTIVE 10-01-2003)

JAMES R. HARDIN, ARCHITECT
 TEXAS REGISTRATION NO. 11546
 DATE: 11/16/2021



HYUNDAI

CLAY COOLEY HYUNDAI ROCKWALL

Oil Change Building

PROJECT
 CLAY COOLEY HYUNDAI

ADDRESS
 1540 INTERSTATE 30 E

CITY STATE
 ROCKWALL TX

ZIP
 75087

FLOOR PLAN & EXTERIOR ELEVATIONS

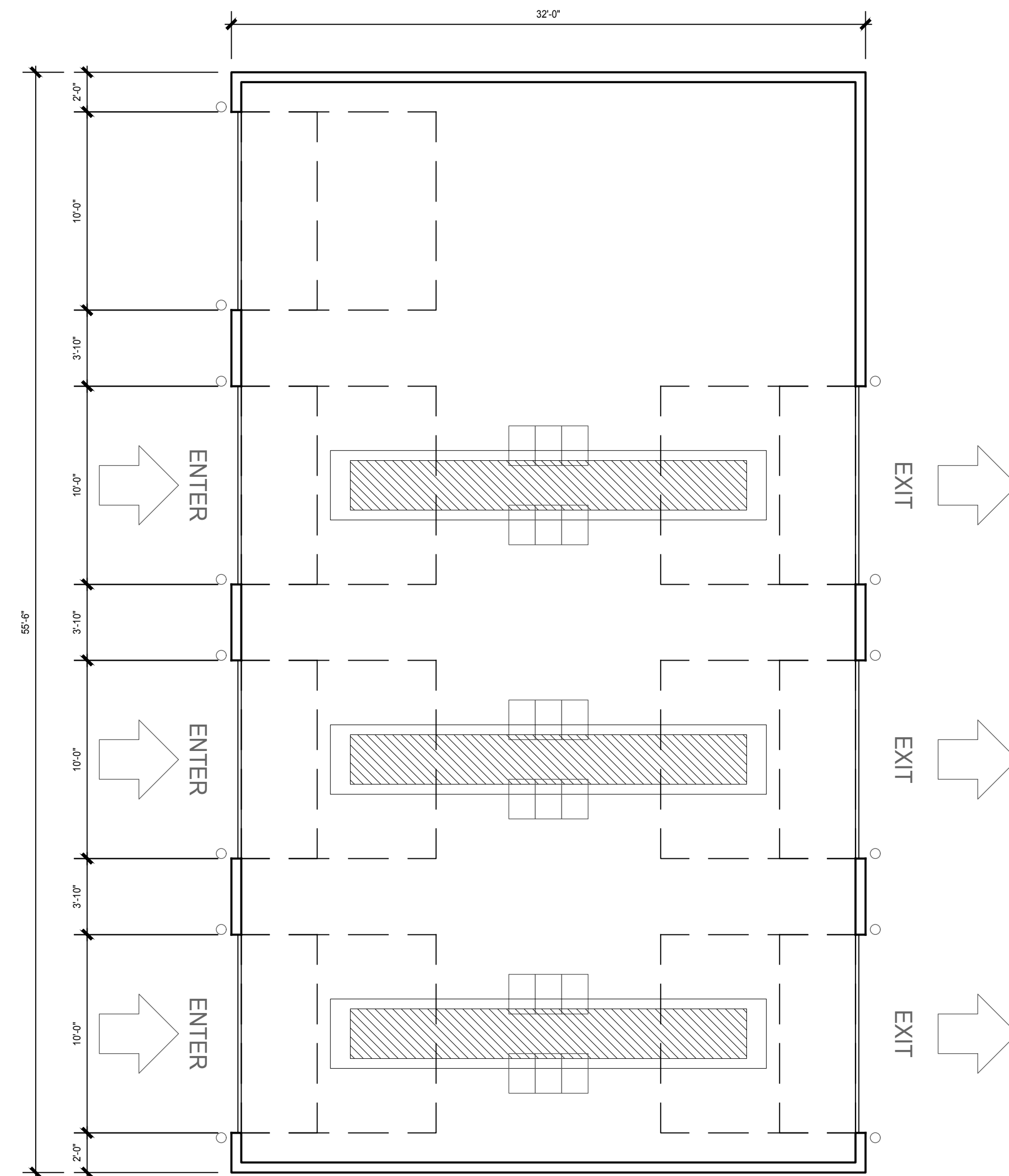
FLOOR PLAN & EXTERIOR ELEVATIONS

JOB NO. **21034**

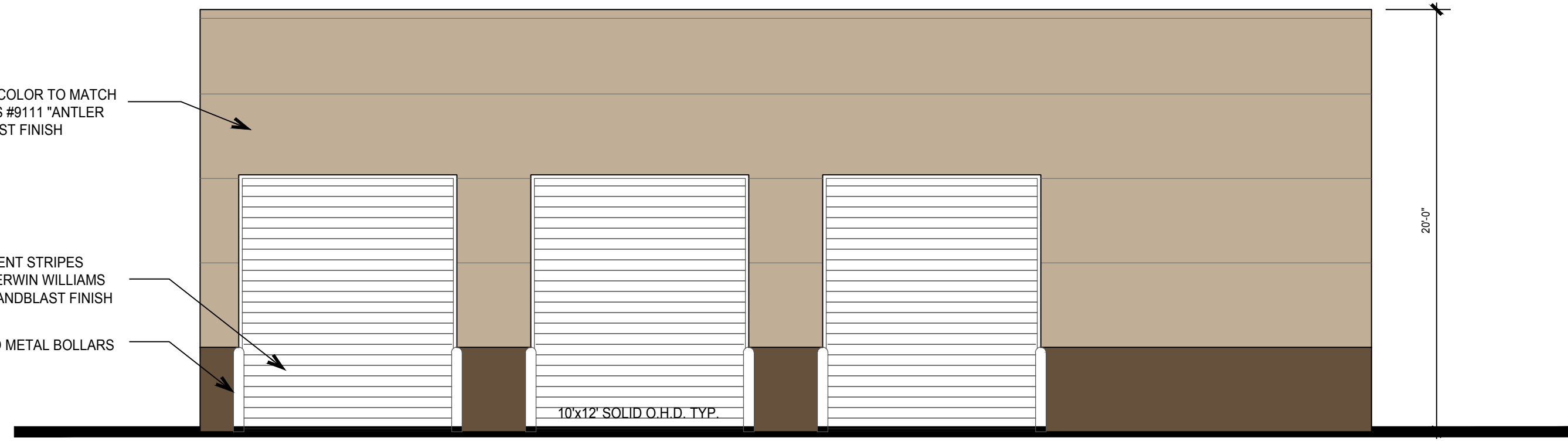
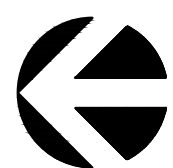
DATE	ISSUE FOR	DRAWN BY
11/16/2021	SUP Submittal	GJJ, JR

SHEET

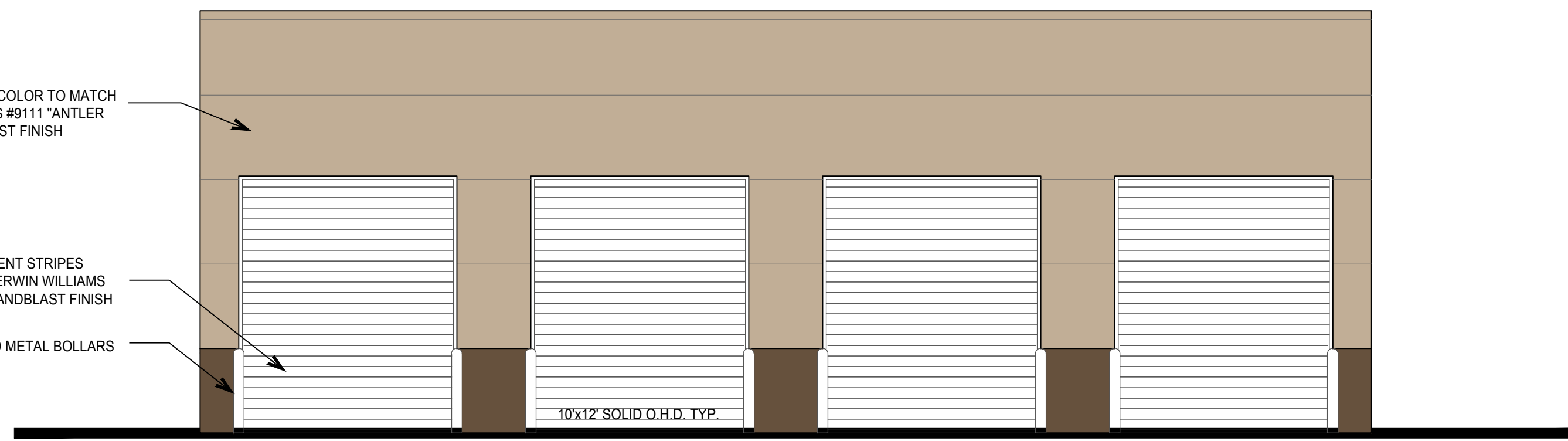
A4.01



1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



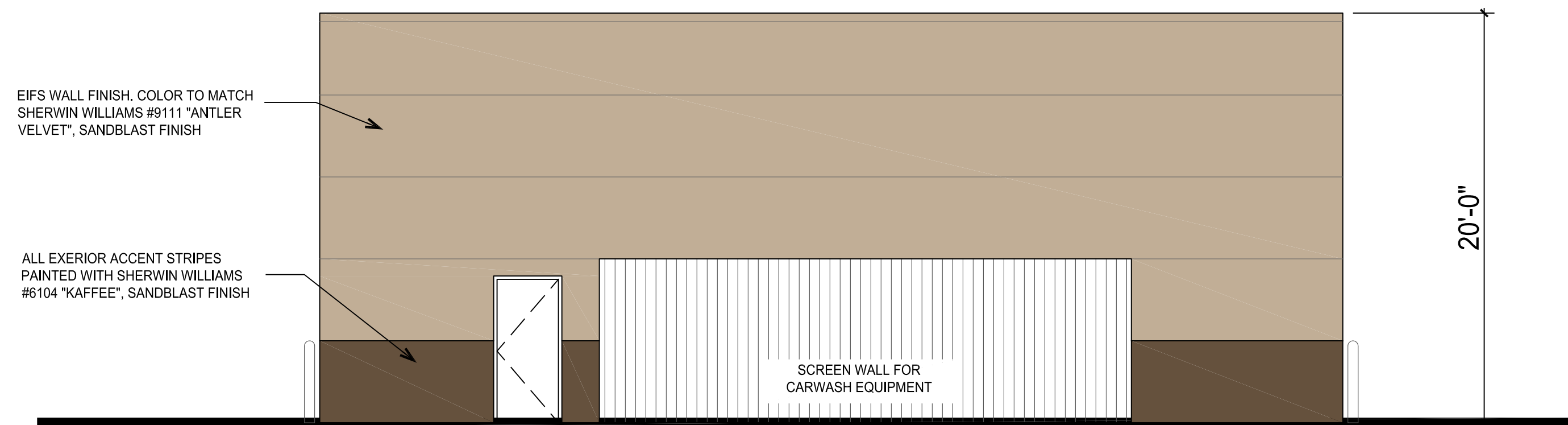
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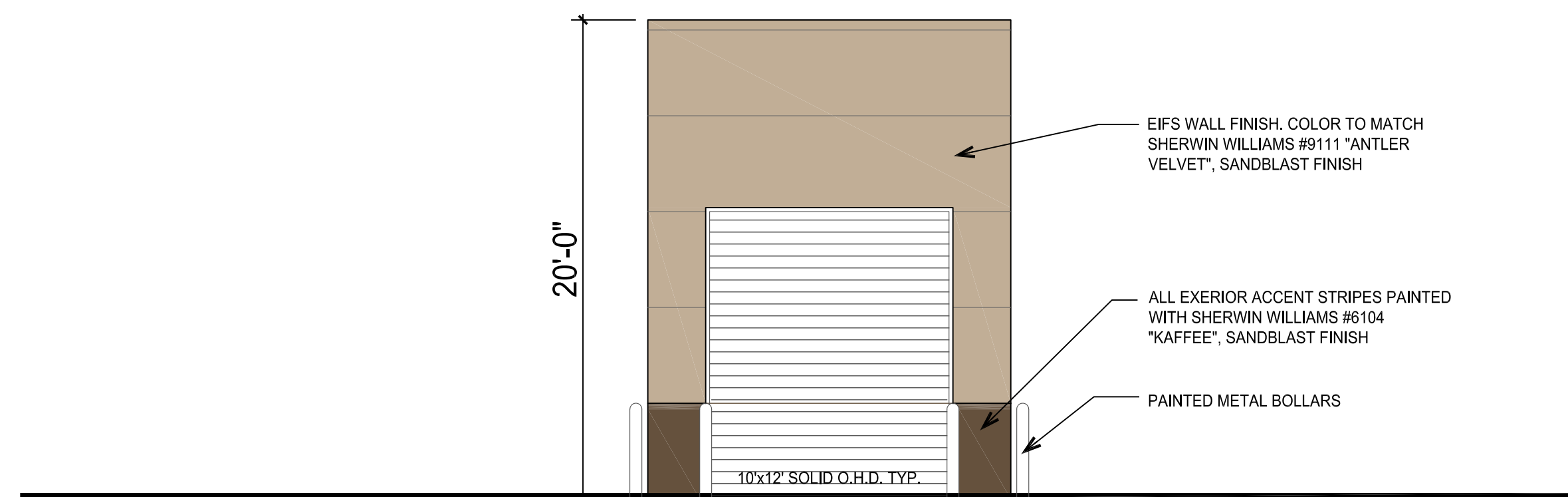
2 EAST & WEST ELEVATIONS
 SCALE: 3/16" = 1'-0"



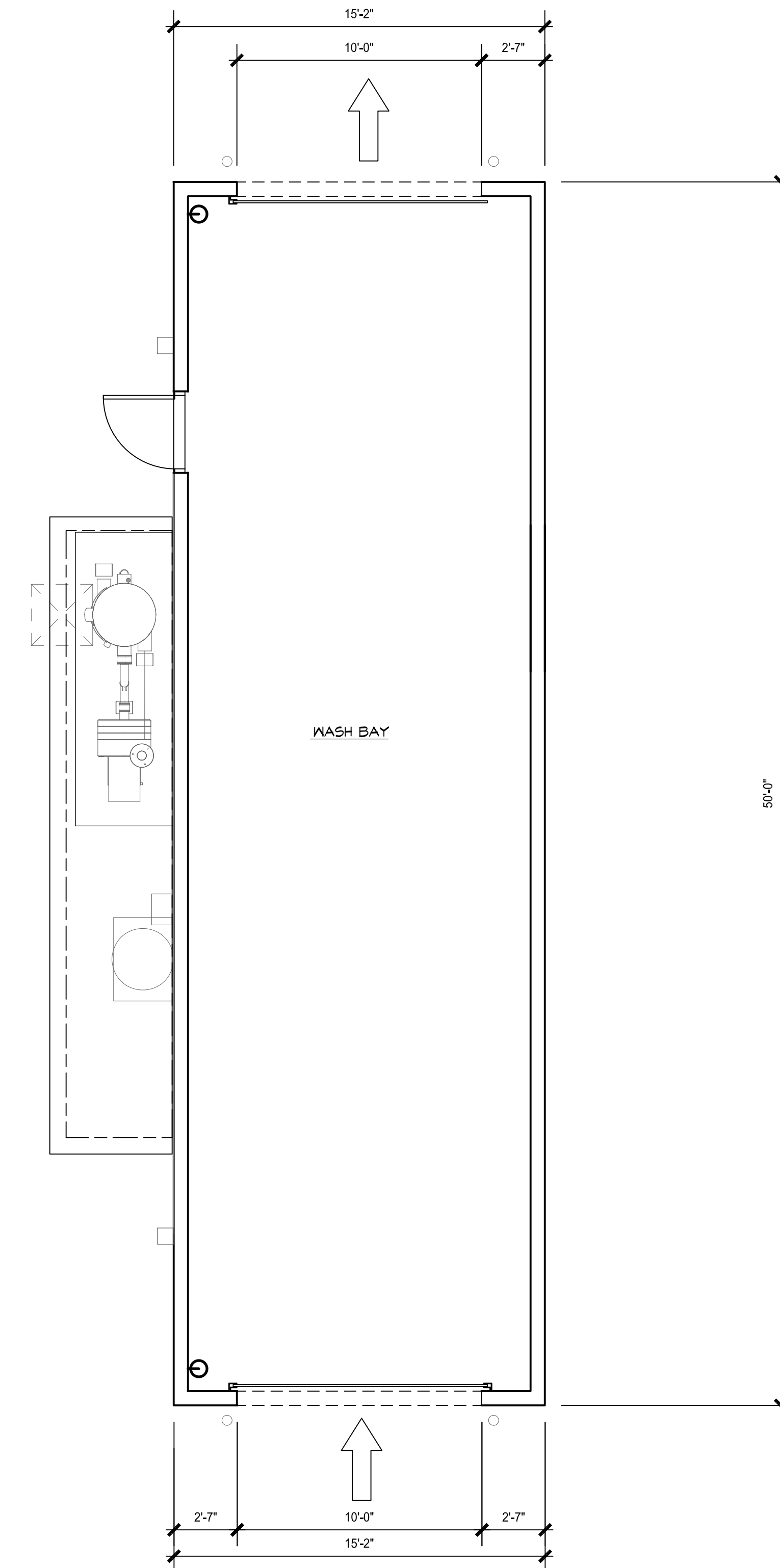
2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST & WEST ELEVATIONS
SCALE: 3/16" = 1'-0"



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

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(TBAE - EFFECTIVE 10-01-2003)

JAMES R. HARDIN, ARCHITECT
TEXAS REGISTRATION NO. 11546
DATE: 10/07/2021



CLAY COOLEY HYUNDAI ROCKWALL

Carwash Building

PROJECT: CLAY COOLEY HYUNDAI
ADDRESS: 1540 INTERSTATE 30 E
CITY: ROCKWALL STATE: TX ZIP: 75087

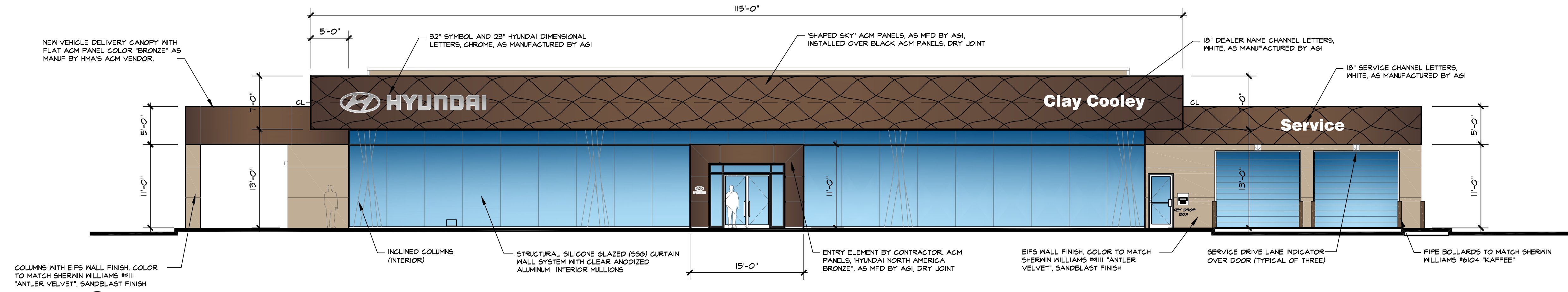
FLOOR PLAN & EXTERIOR ELEVATIONS

JOB NO. **21034**

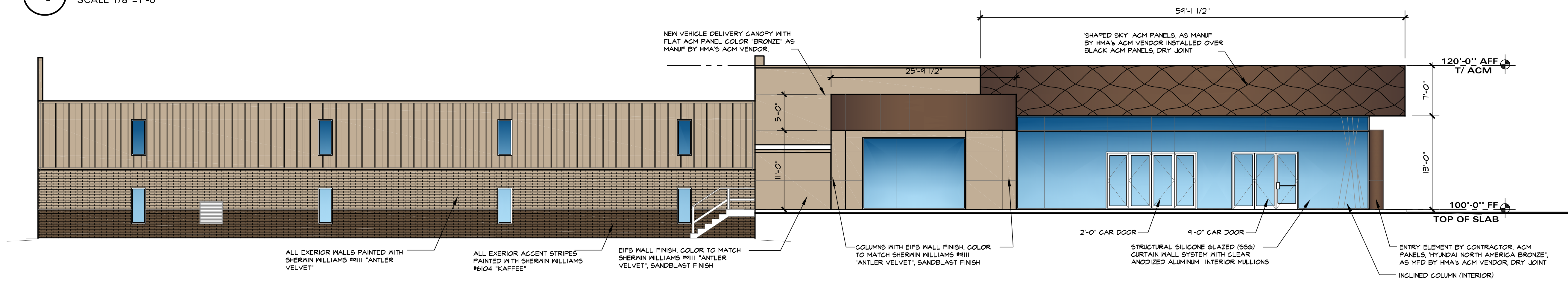
DATE	ISSUE FOR	DRAWN BY
11/16/2021	SUP Submittal	GJJ, JR

SHEET

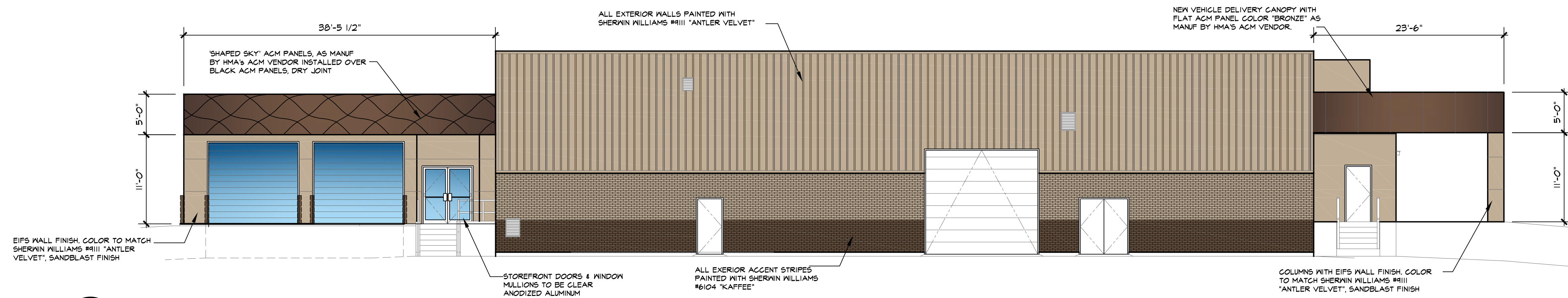
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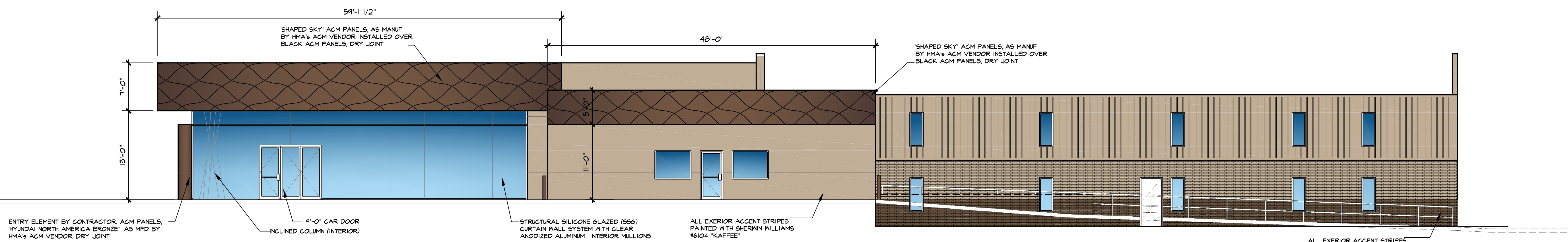
4 NORTH ELEVATION
SCALE 1/8"=1'-0"



3 EAST ELEVATION
SCALE 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE 1/8"=1'-0"



1 WEST ELEVATION
SCALE 1/8"=1'-0"

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(TBAE - EFFECTIVE 10-01-2003)

JAMES R. HARDIN, ARCHITECT
TEXAS REGISTRATION NO. 11546
DATE: 11/16/2021



HYUNDAI

CLAY COOLEY HYUNDAI ROCKWALL

Showroom & Service

PROJECT: CLAY COOLEY HYUNDAI
ADDRESS: 1540 INTERSTATE 30 E
CITY: ROCKWALL STATE: TX ZIP: 75087

EXTERIOR ELEVATIONS

JOB NO. **21034**

DATE	ISSUE FOR	DRAWN BY
11/16/2021	SUP Submittal	GJJ, JR

SHEET

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 12-11 [S-094]* AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS* ON A 7.17-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1 AND LOT 1, BLOCK 2, ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 12-11 [S-094]* and allowing the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 1, Block 1 and Lot 1, Block 2, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 12-11 [S-094]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 12-11*.

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* as

stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) The development or redevelopment of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
- (3) The outside storage of tires or any other automotive parts shall be prohibited.
- (4) All outside storage shall be screened with either a masonry wall or three (3) tiered screening with a berm. At the time of site plan all outside storage must be delineated.
- (5) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
- (6) No vehicle display areas shall be permitted within the required landscape buffers along IH-30 and Commerce Street.
- (7) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored on an unimproved surface.
- (8) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored within the Commerce Street Right-of-Way (*i.e. Commerce Street is for public parking only*).

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after*

proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF JANUARY, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 20, 2021

2nd Reading: January 3, 2022

Exhibit 'A'
Zoning Exhibit

Address: 1540 E. IH-30

Legal Description: Lot 1, Block 1 and Lot 1, Block 2, Rockwall Recreational Addition

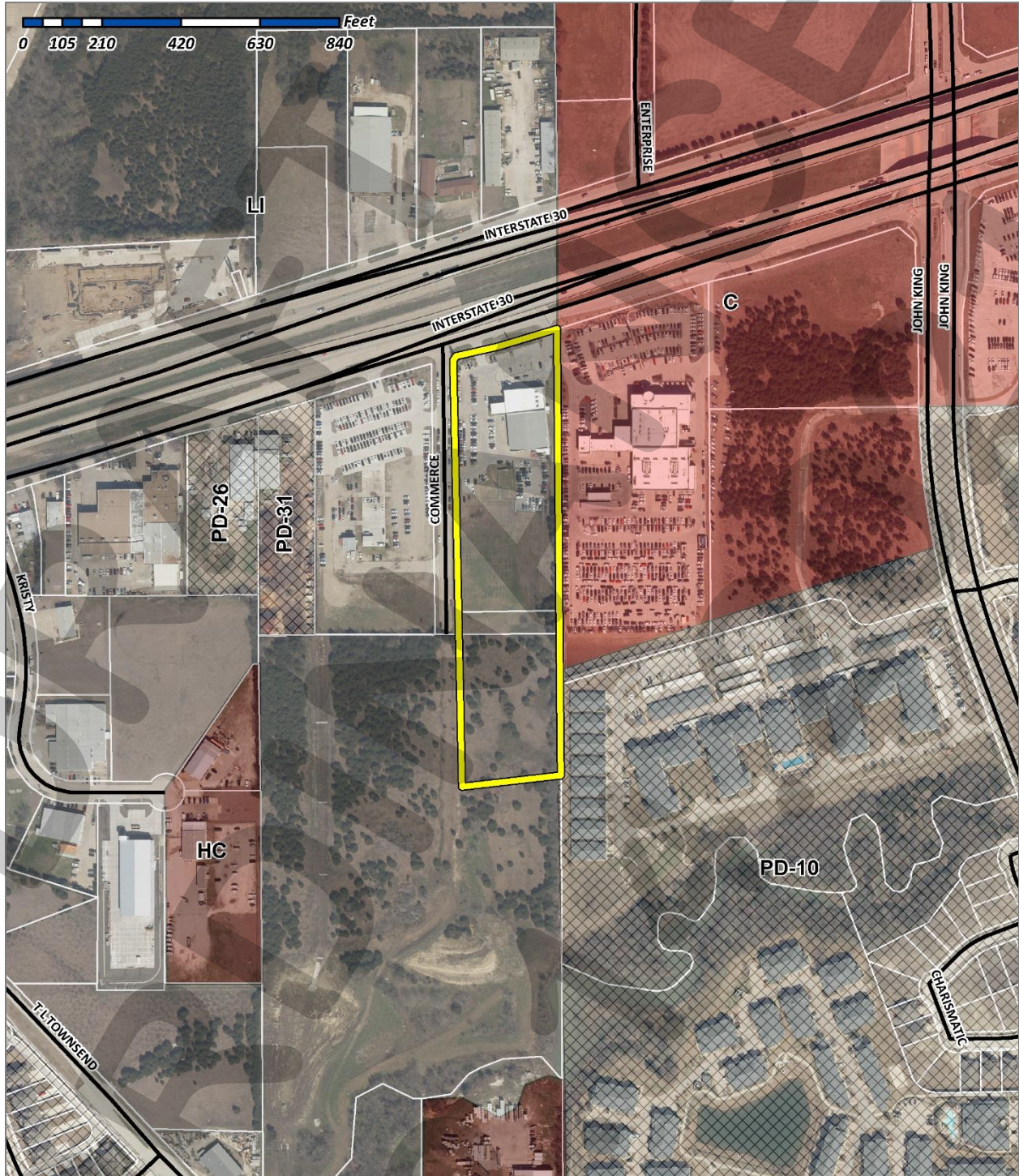


Exhibit 'C':
Building Elevations



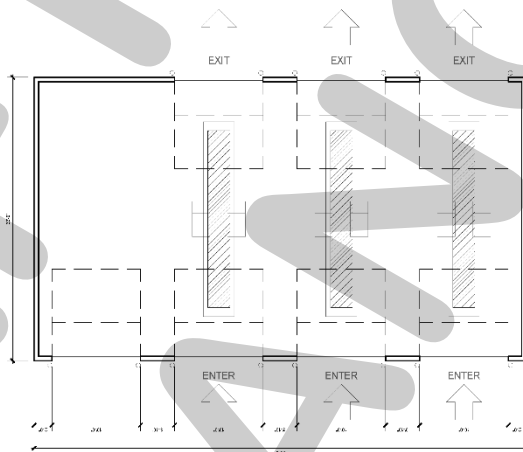
INCOMPLETE CONSTRUCTION DOCUMENTS
THIS SET OF CONSTRUCTION DOCUMENTS IS NOT FOR CONSTRUCTION. IT IS FOR INFORMATION ONLY. ANY CHANGES TO THESE DOCUMENTS MUST BE APPROVED BY THE ARCHITECT. ANY CHANGES TO THESE DOCUMENTS MUST BE APPROVED BY THE ARCHITECT. ANY CHANGES TO THESE DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

HYUNDAI
CLAY COOLEY HYUNDAI
HYUNDAI ROCKWALL
Oil Change Building

CLAY COOLEY HYUNDAI
1000 W. UNIVERSITY BLVD., SUITE 100
CORPUS CHRISTI, TX 78401
TEL: 361.845.1000

FLOOR PLAN & EXTERIOR ELEVATIONS	
DATE	2/10/24
DESIGNER	CLAY COOLEY HYUNDAI
PROJECT	CLAY COOLEY HYUNDAI
LOCATION	1000 W. UNIVERSITY BLVD., SUITE 100, CORPUS CHRISTI, TX 78401
SCALE	AS SHOWN
PROJECT NO.	21034
DATE	2/10/24
DESIGNER	CLAY COOLEY HYUNDAI
PROJECT	CLAY COOLEY HYUNDAI
LOCATION	1000 W. UNIVERSITY BLVD., SUITE 100, CORPUS CHRISTI, TX 78401
SCALE	AS SHOWN

A4.01



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

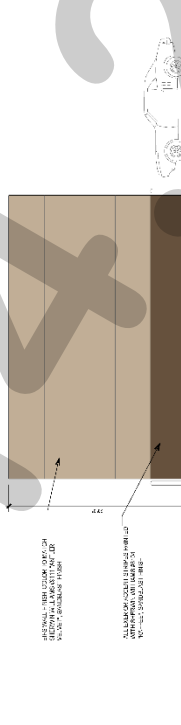
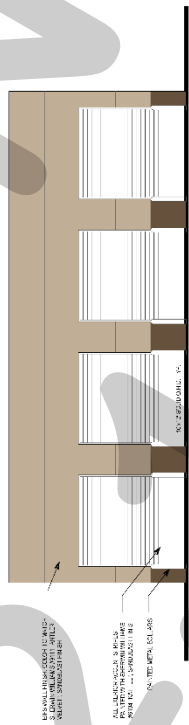
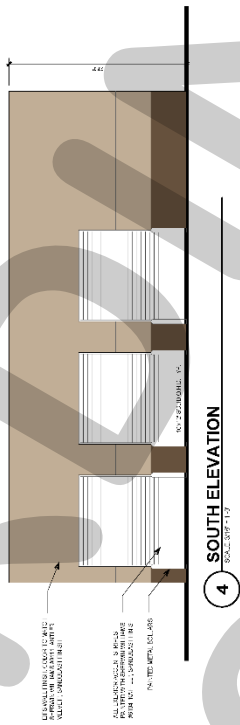


Exhibit 'C':
Building Elevations



INCOMPLETE CONSTRUCTION DOCUMENTS
THIS SET OF CONSTRUCTION DOCUMENTS IS NOT TO BE USED FOR CONSTRUCTION UNLESS ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM THE APPROPRIATE AGENCIES.
JAMES B. MOORE, ARCHITECT
TELEPHONE: 972.331.8499
FAX: 972.331.8499

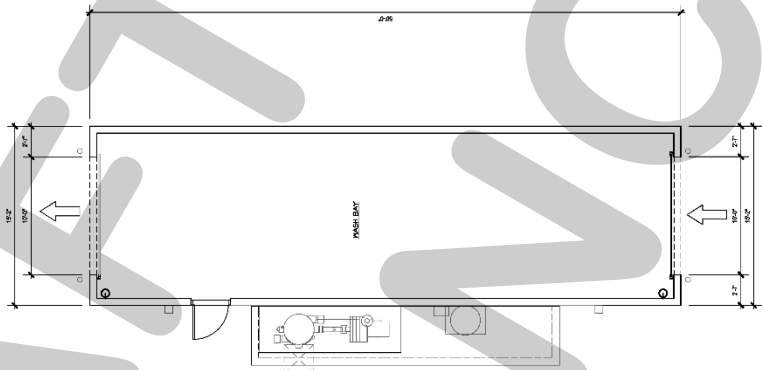
HYUNDAI
CLAY COOLEY
HYUNDAI ROCKWALL
Carwash
Building

PROJECT: CLAY COOLEY HYUNDAI CARWASH BUILDING
DATE: 11/15/2021
DRAWN BY: JTB
CHECKED BY: JTB
SCALE: AS SHOWN

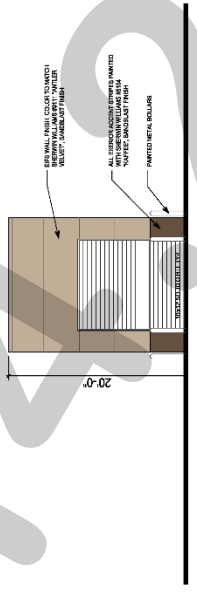
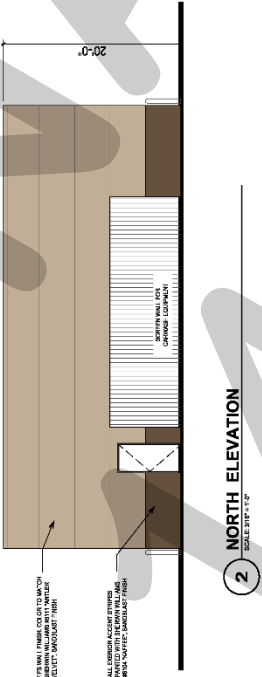
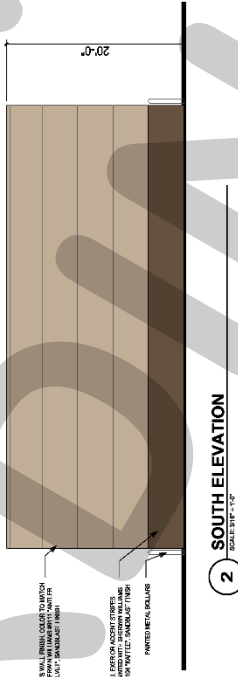
FLOOR PLAN & ELEVATIONS

JOB NO: 21034
DATE: 11/15/2021
DRAWN BY: JTB
CHECKED BY: JTB
SCALE: AS SHOWN

A4.01



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



DRAFT 12/2021

Exhibit 'C':
Building Elevations



INCOMPLETE CONSTRUCTION DOCUMENTS
THESE DOCUMENTS MAY NOT BE USED FOR REGULATORY OR PERMITTING PURPOSES WITHOUT THE SIGNATURE OF THE ARCHITECT.
JAMES H. HARDIN, ARCHITECT
TEAM REGISTRATION NO. 11586
JAMES H. HARDIN

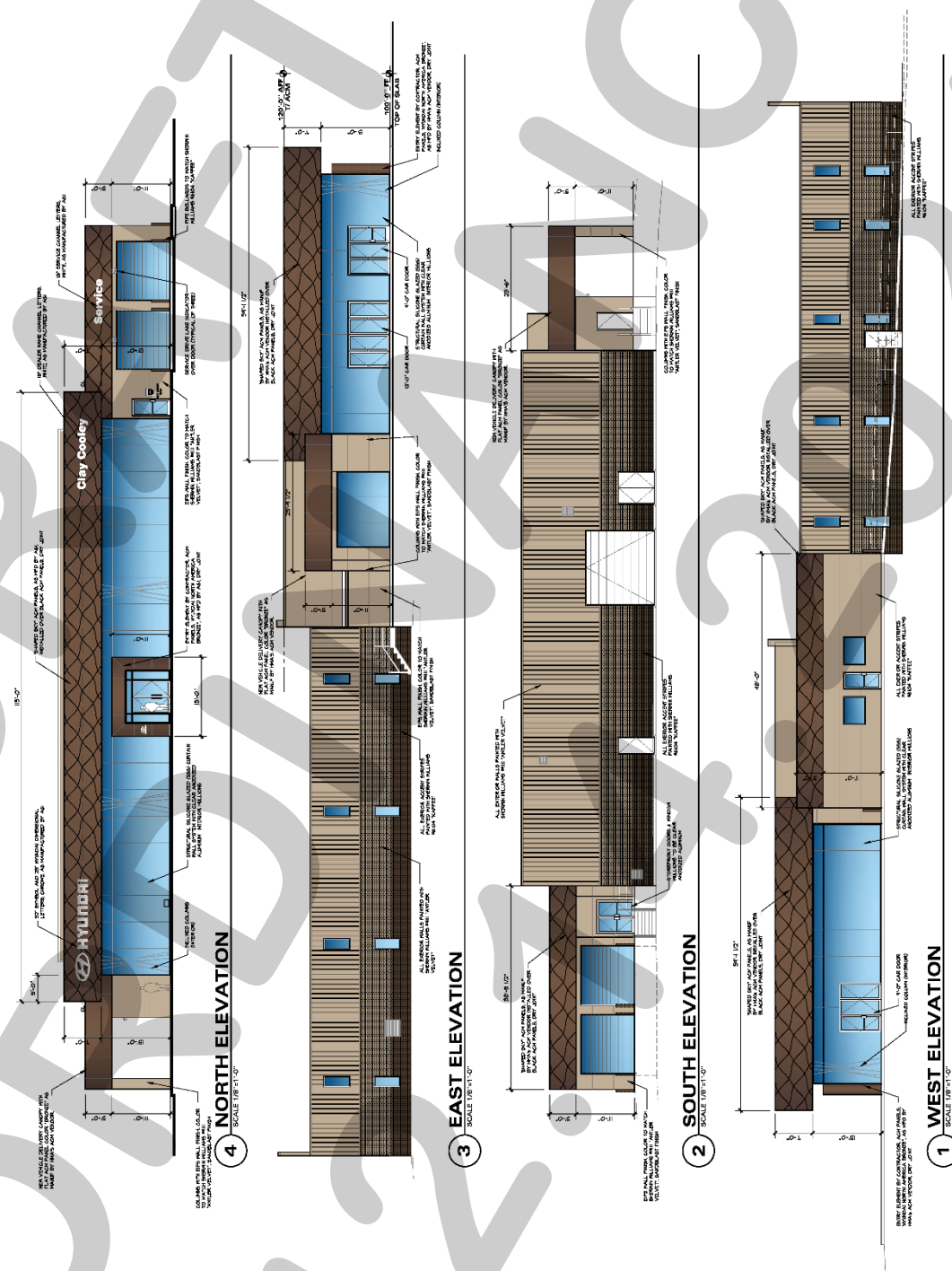
HYUNDAI
CLAY COOLEY
HYUNDAI ROCKWALL
SHOWROOM & SERVICE

PROJECT: CLAY COOLEY HYUNDAI
TEAM INTERESTS: 15%
SCHOOL: ROCKWALL
DATE: 11/2017

EXTERIOR ELEVATIONS

JOB NO.	21034
DATE	REVISION
BY/ISSUED	APP. SIGNATURE
	DATE

A4.01
SHEET





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 14, 2021
APPLICANT: Sam Moore; *Main & Main*
CASE NUMBER: SP2021-031; *Site Plan for Dutch Bros Coffee*

SUMMARY

Discuss and consider a request by Sam Moore of Main & Main on behalf of Jason Claunch of 7.1 Ridge, LLC for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. Dutch Bros. Coffee)* on a 0.57-acre portion of a larger 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within Scenic Overlay (SOV) District, generally located southeast of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on November 7, 1960 by *Ordinance No. 60-04*. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 3, 1972. On January 20, 2015, the City Council approved a miscellaneous case [*Case No. MIS2014-018*] to allow an alternative *Tree Mitigation Plan*. On August 7, 2017, the City Council approved a final plat case [*Case No. P2017-037*] that established the subject property as Lot 1, Block A, Sky Ridge Addition. On January 26, 2021, the Planning and Zoning Commission approved a miscellaneous case [*Case No. MIS2021-001*] to allow for a variable width landscape buffer with alternative tree planting requirements within the landscape buffer. Following this approval, the City Council approved a preliminary plat [*Case No. P2021-001*] proposing the creation of Lots 1-7, Block A, Sky Ridge Addition on March 1, 2021. On August 2, 2021, the City Council approved a replat [*Case No. P2021-038*] that established the subject property as Lot 5, Block A, Sky Ridge Addition. On October 18, 2021, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2021-032; Ordinance No. 21-48, S-257*] to allow a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property.

PURPOSE

On November 16, 2021, the applicant -- *Sam Moore of Main & Main* -- submitted an application requesting the approval of a site plan for the purpose of constructing a Dutch Bros. Coffee on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located southeast of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.868-acre parcel of land (*i.e. Lot 6, Block A, Sky Ridge Addition*), which is zoned Commercial (C) District. Beyond this is a 100' right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is Phase 2 of the Turtle Cove Subdivision, which consists of 55 single-family residential lots that were established on February 17, 1998. This subdivision is zoned Planned Development District 2 (PD-2) for single-family residential land uses.

South: Directly south of the subject property is Ridge Road [FM 740], which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a multi-tenant office building and several commercial businesses (*e.g.*

Big D Auto Care, Wal-Mart, etc.) These areas are zoned Commercial (C) District and are situated within the Scenic Overlay (SOV) District.

East: Directly east of the subject property is a vacant tract of land followed by Ridge Road [FM-740], which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a single-family home that has been converted to a business and a strip retail center with several commercial businesses (e.g. *Little Caesar's, Everybody Massage, etc.*). These areas are zoned Commercial (C) District and are situated within the Scenic Overlay (SOV) District.

West: Directly west of the subject property is a house of worship (i.e. *Great Faith Church*) and several commercial businesses (e.g. *State Farm, Family Dental, etc.*) followed by a 100' right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is Phase 1 of the Turtle Cove Subdivision, which consists of 75 single-family residential lots that were established on June 20, 1985. This subdivision is zoned Planned Development District 2 (PD-2) for single-family residential land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* is permitted by Specific Use Permit (SUP) in a Commercial (C) District. A Specific Use Permit (SUP) [Ordinance No. 21-48] for this land use was approved by the City Council on October 18, 2021. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=0.564-acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>X= 121.02-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=201.89-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X>15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X<60-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=3.83%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space/100 SF (10 Required)</i>	<i>X=10; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X<85%; In Conformance</i>

TREESCAPE PLAN

There are not trees being removed from the property, therefore no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(F)(27), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC) a *Restaurant with Drive Through or Drive-In* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” In this case the applicant is requesting a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In*, which requires a Specific Use Permit (SUP) in accordance with Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This has been granted by the City Council.

The proposed site plan also generally conforms to the requirements of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code

(UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variances and exceptions:

- (1) *Building Materials*. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% *Primary Materials* and/or a maximum of 10% *Secondary Materials*." In this case the applicant is proposing a building that utilized less than 90% primary masonry material and more than 10% secondary material. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) *Architectural Standards*. According to Subsection 06.02 (C)(3), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case the applicant is proposing a flat roof with a parapet to screen the roof mounted utility equipment. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (3) *Construction Standards*. According to Subsection 04.01 (A)(1), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall." In this case the applicant is requesting to paint the interior side of the parapet instead of finishing them with the same material as the exterior facing wall. This will require an *exception* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." This section of the code also includes the same language for variances to the *General Overlay District Standards*. In addition, the code requires that applicant's provide compensatory measures that directly offset the requested variances and exceptions. In this case, as compensatory measures the applicant is proposing to [1] increase building articulation, [2] increased use of masonry building materials, [3] increase the number of architectural elements, [4] provide a bicycle rack, [5] provide outdoor seating, [6] have no outdoor speaker menu board, [7] increased canopy length along the north elevation, and [8] provide a pergola with seating. In this case, many of the proposed compensatory measures are actually requirements of the *General Overlay District Standards* (i.e. *Compensatory Measures 1-3*), and cannot be considered as compensatory measures for this case. Staff is obligated to point out that only five (5) of the proposed compensatory measures (i.e. *Compensatory Measures 4-8*) would actually meet the requirements of the Unified Development Code (UDC). With this being said, requests for variances and/or exceptions to the *General Commercial District Standards* and the *General Overlay District Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *South Lakeshore District*. The *South Lakeshore District* is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. As a result, the majority of commercial development in the area is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. Strategy #2 in the *South Lakeshore District* states that "...commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with

the adjacent residential structures.” In this case, the applicant’s proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on November 30, 2021. The ARB recommended that the applicant replace the grey Nichiha wainscot with a stone or dark brick, and raise the wainscot to the canopies. Before action is taken on the building elevations, the ARB will review the applicant’s revised building elevations and provide a recommendation to the Planning and Zoning Commission at the December 14, 2021 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for the Dutch Bros Coffee on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	2200 Ridge Rd		
SUBDIVISION	Vacant Land - Commercial	LOT	1
		BLOCK	A
GENERAL LOCATION	Property located at intersection of Ridge Rd and Yellow Jacket Ln, North of 2054 Ridge Rd		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Commercial (C)	CURRENT USE	Undeveloped/Vacant	
PROPOSED ZONING	Commercial (C)	PROPOSED USE	Drive-Thru Coffee Shop	
ACREAGE	0.57 Acres	LOTS [CURRENT]	1	LOTS [PROPOSED]
				1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	7.1 Ridge LLC	<input type="checkbox"/> APPLICANT	Main & Main
CONTACT PERSON	Jason Claunch	CONTACT PERSON	Sam Moore
ADDRESS	106 E Rusk Suite 200	ADDRESS	5750 Genesis Ct Suite 103
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Frisco, TX 75034
PHONE	972-999-0081 (x101)	PHONE	(817) 505-8117
E-MAIL	jason@catalystcommercial.net	E-MAIL	sm@maincg.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SAM MOORE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

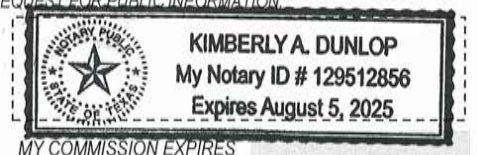
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE TENTH DAY OF NOVEMBER, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2021.

OWNER'S SIGNATURE

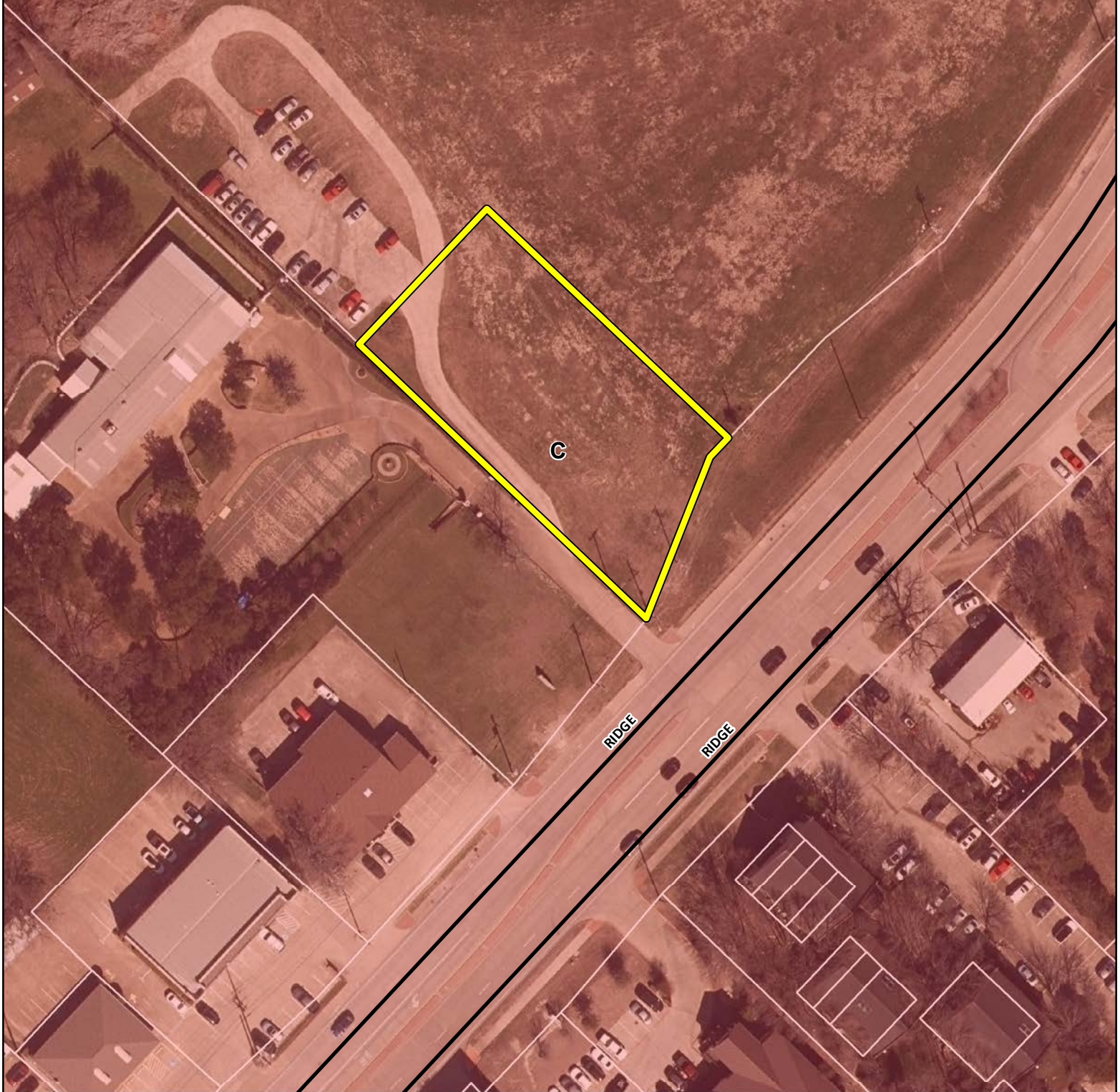
[Signature]
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2021-031- SITE PLAN FOR DUTCH BROS
SITE PLAN - LOCATION MAP =

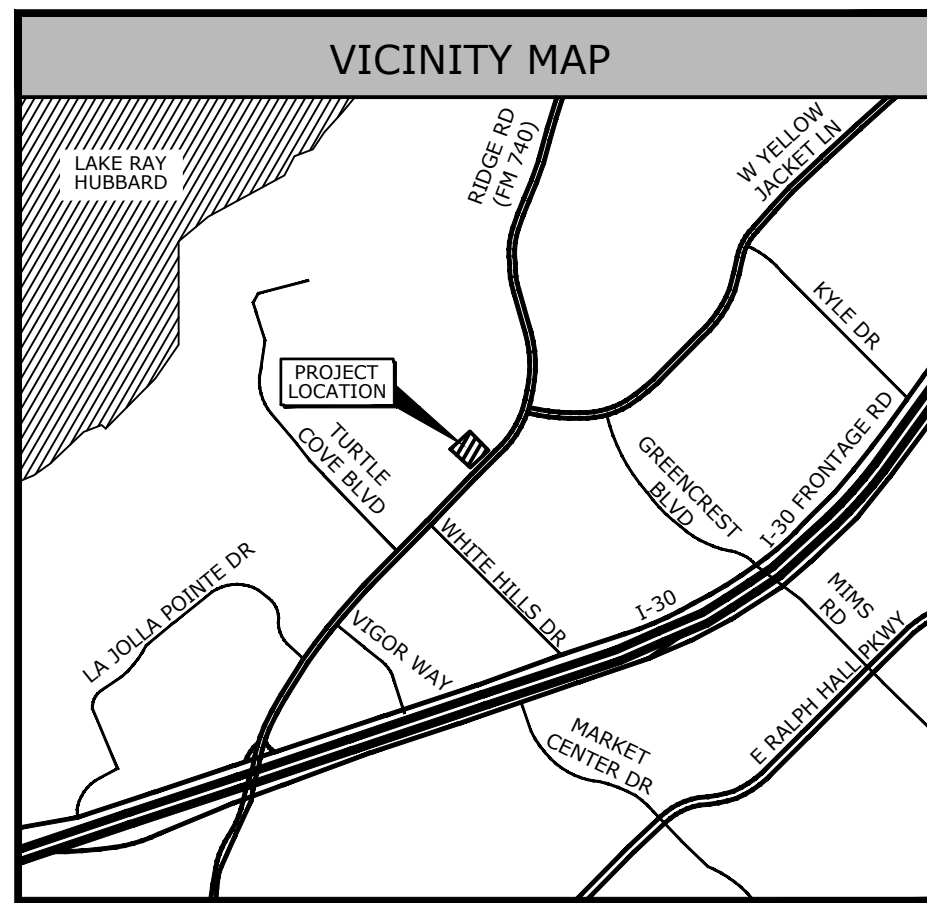


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

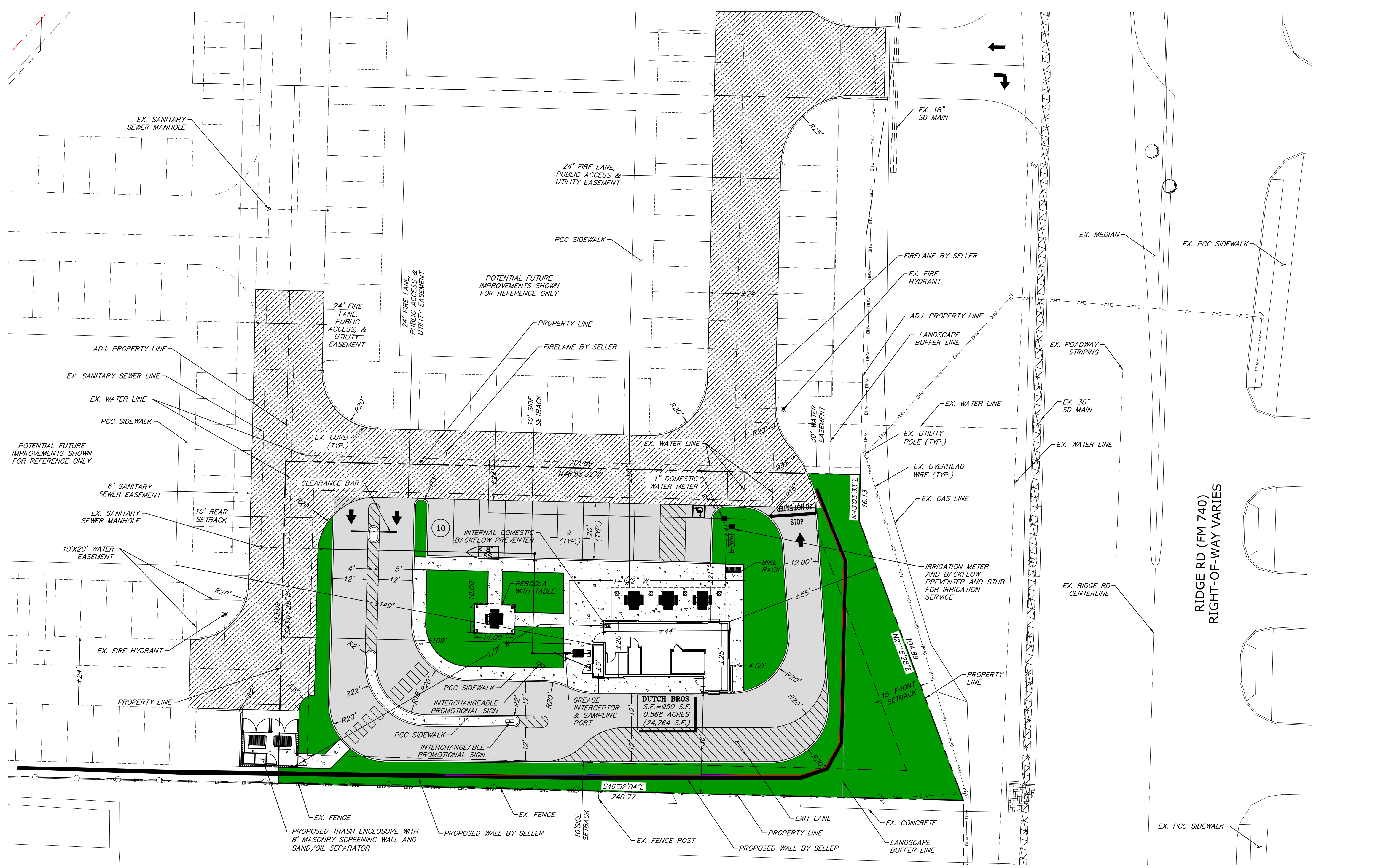




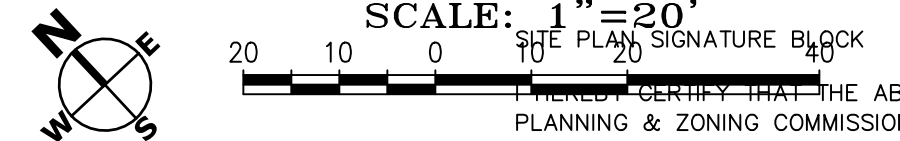
SCALE: N.T.S.

LEGEND	
	PROPOSED MEDIAN CURB
	EXISTING MEDIAN CURB
	EXISTING FIRE HYDRANT
	PROPERTY LINE
	EXISTING EASEMENT LINE
	SITE SETBACK LINE
	EXISTING ROADWAY CENTERLINE
	EXISTING FENCING
	EXISTING UTILITY POLE
	PROPOSED WALL BY SELLER
	EXISTING SSMH
	PROPOSED SEWER CLEANOUT
	PROPOSED GREASE INTERCEPTOR & SAMPLING PORT
	PROPOSED BACKFLOW PREVENTER
	PROPOSED WATER METER (SHADED IF EXISTING)
	PROPOSED WATER LINE (DASHED IF EXISTING)
	PROPOSED SANITARY SEWER MAIN (DASHED IF EXISTING)
	PROPOSED STORM DRAIN (DASHED IF EXISTING)
	PROPOSED ELEC / TELECOM CONDUIT
	5" PCC OVER 8" SUBGRADE
	SIDEWALK
	PROPOSED LANDSCAPED AREA
	PROPOSED FIRELANE BY SELLER
	PROPOSED MENU BOARD
	PROPOSED CLEARANCE BAR
	PROPOSED PYLON SIGN/MONUMENT
	PROPOSED PAVEMENT MARKING (DASHED IF EXISTING)

PROJECT SUMMARY TABLE	
ZONING	C (COMMERCIAL DISTRICT)
EXISTING LAND USE	VACANT/UNDEVELOPED
PROPOSED LAND USE	LIMITED SERVICE RESTAURANT
LOT AREA	0.568 ACRES (24,764 S.F.)
BUILDING AREA	950 S.F.
BUILDING HEIGHT	24 FT (1-STORY)
SETBACK FRONT	15 FEET
SETBACK SIDE	10 FEET
SETBACK REAR	10 FEET
BUILDING COVERAGE	3.8%
LANDSCAPE AREA	0.241 ACRES (10,497 S.F.)
LANDSCAPE COVERAGE	32.3%
PARKING REQUIRED	10 SPACES (1 PER 250 S.F. + 1 PER 4 OUTDOOR SEATS)
PARKING PROVIDED	10 SPACES
HANDICAPPED PROVIDED	1 SPACE (1-25 STALLS)
TOTAL CARS IN QUEUE	29 CARS



SITE PLAN
SCALE: 1" = 20'-0"



I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20____. WITNESS OUR HANDS, THE ____ DAY OF ____ 20____.

PLANNING & ZONING COMMISSION CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____



COPYRIGHT: All drawings herein are the property of Tectonics Design Group and may not be reproduced or used in any capacity without the written authorization of Tectonics Design Group.

DRAWN: M.C.M.
DESIGNED: J.P.B.
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

PRELIMINARY

DESIGNER: **TECTONICS DESIGN GROUP**
730 Sandhill Rd., #250, Reno, Nevada 89521
tel: 775-824-9868
fax: 775-824-9866
www.tectonicsdesigngroup.com

PROJECT/CLIENT: **Dutch Bros No.: TX1802**
2230 Ridge Rd, Rockwall, TX 75087

MAIN & MAIN CAPITAL GROUP, LLC
5750 Genesis Ct, Suite 103, Frisco, Texas 75034
tel 214-308-0008

PROFESSIONAL SEAL:

DATE: 12/07/21 SUBMITTAL: SITE PLAN SUBMITTAL

SUBMITTAL RECORD: # 21090

SHEET TITLE: SITE PLAN

CASE #: SP2021-031

C2.1

General Electrical Requirements

PART 1 - GENERAL

1.01 DESCRIPTION

This Section summarizes the general requirements for electrical work, and forms a part of all other Sections of these specifications unless otherwise specified. The electrical work consists of furnishing all labor, materials, equipment and performing all operations required for complete and operable electrical systems as indicated on the drawings and/or as specified herein. Miscellaneous appurtenances are not necessarily specified or shown on the plans.

1.02 QUALITY ASSURANCE

- A. Furnish manufacturer's electrical equipment of the types and sizes specified.
- B. Codes and Standards. Provide electrical equipment and materials, including installation, conforming to the following codes and standards, as applicable and as adopted by the authority having jurisdiction. The equipment and materials shall bear labels to indicate manufacturing conformance to the specified standards or equal. Where two codes or standards are at variance the authority having jurisdiction shall apply:
 1. 2017 National Electric Code
 2. National Electrical Safety Code
 3. Local County and City Electrical Codes
 4. Owner's Electrical Standards
 5. American National Standards Institute Standards
 6. American Society for Testing Materials Standard Tests
 7. Certified Ballast Manufacturers Standards
 8. Illuminating Engineering Society Handbook Standards
 9. Insulated Power Cable Engineers Association Standards
 10. National Electrical Manufacturers Association Standards
 11. National Fire Protection Association Standards
 12. Occupational Safety and Health Act
 13. Underwriters' Laboratories, Inc. Standards

1.03 UTILITY COMPANY REQUIREMENTS

All utility installations shall comply with current Public Utilities Commission regulations and requirements. All installations shall comply with current local electric utility service provider standards, procedures and regulations.

1. 2017 National Electric Code
2. National Electrical Safety Code
3. County and City Electrical Codes
4. Owner's Electrical Standards
5. American National Standards Institute Standards
6. American Society for Testing Materials Standard Tests
7. Certified Ballast Manufacturers Standards
8. Illuminating Engineering Society Handbook Standards
9. Insulated Power Cable Engineers Association Standards
10. National Electrical Manufacturers Association Standards
11. National Fire Protection Association Standards
12. Occupational Safety and Health Act
13. Underwriters' Laboratories, Inc. Standards

1.04 SUBMITTALS

All drawings shall be prepared and kept up to date throughout all construction phases. As built drawings may, at any time, be reviewed by the architect, general contractor and/or owner's representative. This section includes responsibility for inspection, acceptance and documentation of all pre-existing installations. Accurate, complete and legible final As Built Drawings shall be submitted within two weeks of finalization of all installations covered under this section or within two weeks of request by owner's representative.

- A. Materials List. Submit complete list of materials to be installed to architect and/or owner as required.
- B. Technical Data. Submit descriptive and instruction manuals to the extent required under this Section and other Sections of Division 16, and the General Conditions.

1.05 PRODUCT DELIVERY, STORAGE, AND HANDLING

- A. Delivery. Deliver electrical materials and equipment in manufacturer's original cartons or containers with seals intact, as applicable. Unless otherwise specified, deliver conductors in sealed cartons or on sealed reels, ends of reeled conductors factory sealed. Deliver large multi-component assemblies in sections that facilitate field handling and installation.
- B. Storage. Unless designed for outdoor exposure, store electrical materials off the ground and under cover to prevent corrosion, contamination, or deterioration.
- C. Handling. Handle materials and equipment in accordance with manufacturer's recommendations. Lift large or heavy items only at the points designated by the manufacturer. Use padded slings and hooks for lifting as necessary to prevent damage.

1.06 JOB CONDITIONS

Electrical Drawings are diagrammatic and indicate the general layout of the complete work. Locations of equipment, inserts, anchors, motors, panels, pull boxes, conduits, stub-ups, fitting, lighting fixtures, convenience outlets, exterior lighting units, and ground wells are approximate. Conform to Drawings as closely as possible. Exercise care to secure approved headroom and clearances, and to overcome structural interference. Verify scaled dimensions, field dimensions, and conditions at the place of work.

Underground electric lines shown on the plans are, to a degree, symbolic. Refer to the existing as built, Electrical, Mechanical and all other drawings available for locations of possible interference. Hand dig or otherwise cautiously dig the trenches for the underground lines in areas where interferences are possible or where electric lines must pass or cross below or above existing.

- A. Changes. Submit written details and reasons for proposed deviations from Drawings and Specifications, and do not deviate therefrom unless authorized by Field Order or Change Order. If approved changes requested by general contractor and/or owner require alteration of structures or related work, make the alterations in full compliance with all applicable codes and ordinances.
- B. Protection. Protect electrical materials and equipment until final acceptance. Protect factory painted surfaces from impact, abrasion, discoloration, and other damage. Keep electrical equipment, materials, and insulation dry at all times. If partial dismantling of equipment is required for installation, box or wrap the removed parts until reinstalled. Repair or replace damaged work as directed, at no additional cost to the owner.
- C. Coordinate. Coordinate electrical work with all trades, code authorities and public utilities. Where two or more trades interface in an area, verify that no electrical work is omitted.
- D. Safety. Maintain and operate all equipment and fixtures in a safe and responsible manner. Conduct all construction operations in a safe manner for all employees as well as any other persons within the workspace. Hold all others harmless of negligent safety practices which could cause injury to others on or near the jobsite.

1.07 RELATED ELECTRICAL WORK

Review entire Contract Documents and provide all electrical work required for the entire project, even if it is specified in Divisions other than Division 16, unless specifically excluded in advance.

1.08 POWER SUPPLY

The power supply shall be alternating current, 60 hertz and at the voltage indicated on the drawings.

1.09 PERMITS

Procurement of permits is not included in this section. Obtain and pay for permits, licenses and/or inspections required for electrical construction work if specifically required in writing by owner, architect and/or general contractor prior to award of contract.

1.10 OUTAGES

Keep power shutdown periods to the minimum time feasible, and only for such times and durations as may be approved. Submit written request for outage approval at least 2 working days in advance of need, stating date, time, and probable duration.

1.11 AREA CLASSIFICATIONS

Installation areas for electrical equipment, materials, and wiring are classified as "Non-Hazardous" unless otherwise indicated or specified.

1.12 GUARANTEE AND WARRANTY

Guarantee all work of Division 16 in accordance with the General Conditions. With respect to equipment, condition guarantee to cover (1) faulty or inadequate design; (2) improper assembly or erection; (3) defective workmanship or materials; and (4) incorrect or inadequate operation, or other failure. For equipment bearing a manufacturer's warranty in excess of one (1) year, furnish a copy of the warranty to the architect for submittal to owner who shall be named as beneficiary.

PART 2 - PRODUCTS

2.01 MATERIALS AND EQUIPMENT

Provide new materials and equipment as required to complete all indicated and specified electrical work, including incidental items inferable from the Contract Documents that are necessary to complete the work. Provide materials and equipment of latest design, standard products of established manufacturers. For uniformly, only one manufacturer is acceptable for each type of product. Manufacture individual parts to standard sizes and gages so repair parts can be installed in the field. Make like parts of duplicate units interchangeable. Do not place equipment in service at any time prior to delivery except as required for factory or shop tests or as requested by owner, architect and/or general contractor.

- A. Prohibited Materials. Aluminum conductors are not acceptable unless approved for each use and location.
- B. Damaged Products. Notify the general contractor in writing if any equipment or material is damaged. Do not repair damaged products without prior written approval.
- C. Outdoor Equipment. Outdoor electrical equipment shall be weatherproof, NEMA 3R (enclosure detailed on drawings) unless shown otherwise on the construction drawings.
- D. Factory Finishes. Unless otherwise specified in other Division 16 sections or in the Special Conditions, the sheet metal surfaces of equipment enclosures shall be phosphalzed and coated with a rust resisting primer. Over the primer, apply a corrosion resistant baked enamel finish on the interior and exterior metal surfaces. The exterior color shall be ASA No. 49 medium light gray. The interior color shall be white. Hardware shall have a corrosion resistant finish. Sheet metal enclosures and lighting fixtures, in corrosive areas, shall have an outer coating of corrosion resistant epoxy.

PART 3 - EXECUTION

3.01 GENERAL

Install electrical work in accordance with all applicable codes and standards except where more stringent requirements are indicated or specified. Verify that materials and equipment properly fit the installation space with clearances conforming to all applicable codes and standards except where greater clearance is indicated. Perform work as required to correct improper installations, at no additional cost to the owner.

3.02 ELECTRICAL SUPERVISION

In addition to supervision required under the General Conditions, assign a competent representative to supervise the electrical construction work from beginning to completion and final acceptance.

3.03 INSPECTION

Inspect each item of material and equipment for damage, defects, completeness, and correct operation prior to installation. Inspect previously installed related work and verify that it is ready for installation of electrical work.

3.04 PREPARATION

Prior to installing electrical work, ensure that installation areas are clean. Maintain the areas in a broom-clean condition during installation operations. Clean, condition, and service equipment in accordance with the manufacturer's instructions, approved submittals, and other requirements indicated or specified.

3.05 WORKMANSHIP

Employ skilled craftsmen experienced in installation of the types of electrical materials and equipment specified. Use specialized installation tools and equipment as applicable. Produce acceptable installations free of defects.

3.06 PROTECTIVE DEVICE ADJUSTMENTS

Adjust all protective devices as required. Adjustments shall conform to the serving utilities requirements & ANSI/IEEE Standard 242. No equipment shall be operated prior to said adjustments being properly completed and verified /tested.

3.07 FIELD QUALITY CONTROL

- A. Manufacturers' Supervision and Field Installation Check. Where specified, electrical equipment and/or fixture manufacturer shall furnish the services of an authorized representative specially trained and experienced in the installation of his equipment and/or fixture to (1) supervise the equipment and/or fixture installation in accordance with the approved submittals and manufacturer's instructions, (2) be present when the equipment and/or fixture is first put into operation, (3) inspect, check, adjust as necessary, and approve the installation, (4) repeat the inspection, checking, and adjusting until all trouble or defects are corrected and the equipment and/or fixture installation and operation are acceptable, and (5) prepare and submit the specified Manufacturer's Certified Report.
- B. Operational Demonstration. Demonstrate that performance of installed electrical materials and equipment complies with requirements specified in Division 16. Operate equipment through entire no-load to full-load range for not less than 24 hours unless a longer period is specified elsewhere. Immediately correct defects and malfunctions with approved methods and materials in each case, and repeat the demonstration. Conform to the approved demonstration plan.
- C. Final Operation Tests. Test all electrical systems for not less than 24 hours, with no interruptions except for normal maintenance or corrective work. Conform to the approved test plan. Coordinate with final operation tests required under other Divisions.
 1. Testing Materials. Furnish labor, instruments, recorders, gages, materials, and power for tests as required.
 2. Testing Methods. Operate systems continuously 24 hours a day under constant inspection of trained operators. Cause variable range equipment to cycle through the applicable range at a steady rate of change. Induce simulated alarm and distressed operating conditions, and test controls and protective devices for correct operation in adjusting system functions or causing system shutdown.
 3. Defects. Immediately correct all defects and malfunctions disclosed by tests. Use new parts and materials as required and approved. Add the interruption time for corrective work to the specified total test period.

SHEET LEGEND	
SHEET ES-0.1	- SPECIFICATIONS
SHEET ES-1.0	- ELECTRICAL SITE PLAN
SHEET ES-1.1	- CANOPY LIGHTING DETAIL
SHEET ES-2.0	- PHOTOMETRIC SITE PLAN
SHEET ES-3.0	- LIGHTING SPEC SHEETS

SITE PLAN SIGNATURE BLOCK

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THE ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION CHAIRMAN

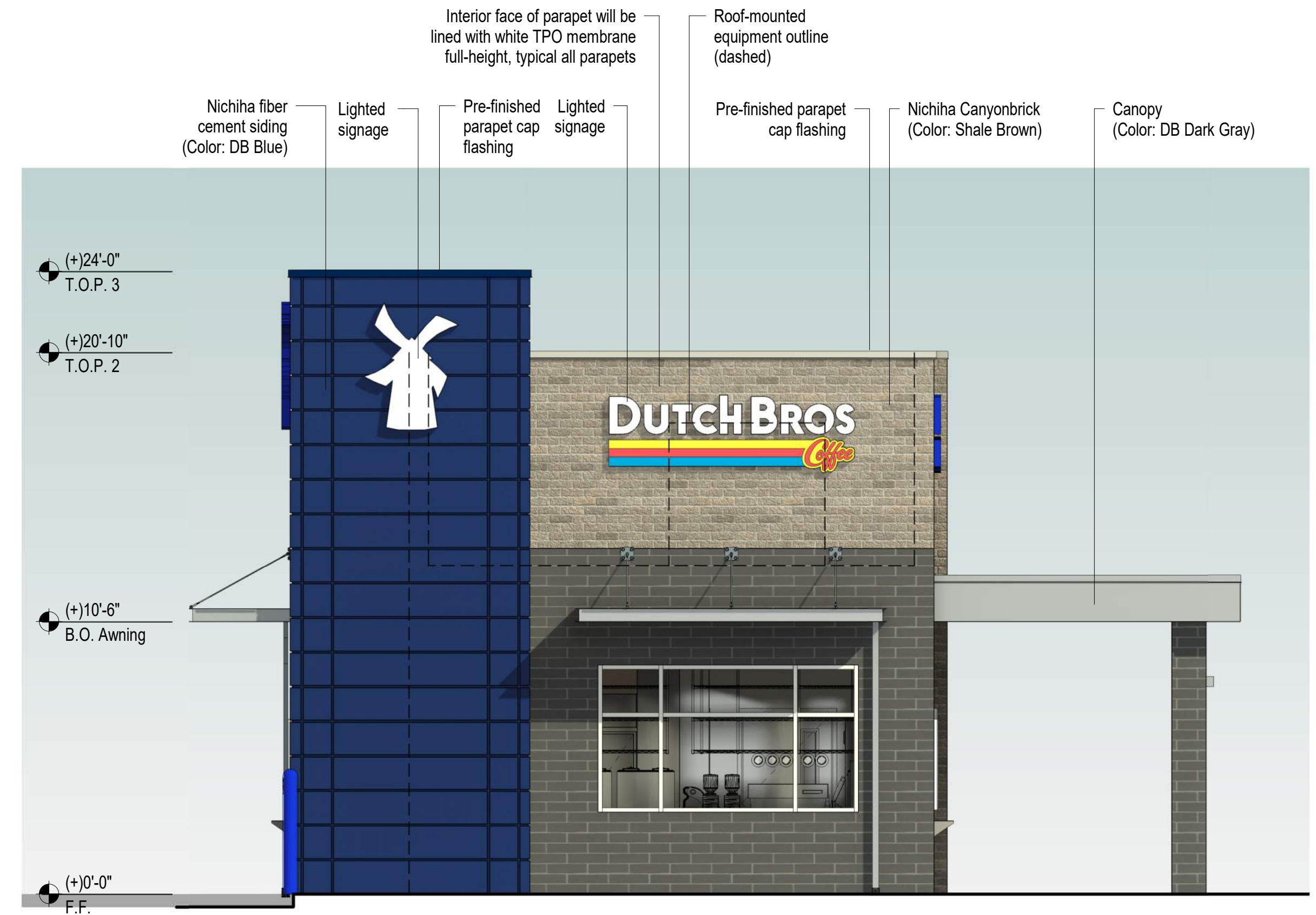
DIRECTOR OF PLANNING AND ZONING

CASE #: SP2021-031

COPYRIGHT: DRAWN: S.B.G. DESIGNED: S.B.G. CHECKED/STAMPED: SCOTT B. GARRISON, P.E.	<h1 style="margin: 0;">PRELIMINARY</h1>																		
STAMP:	<p style="font-size: 8px; margin: 0;">730 Sandhill Rd., #250, Reno, Nevada 89521 tel 775-824-9988 fax 775-824-9986 www.tectonicsdesigngroup.com</p>																		
DESIGNER:	<p style="font-size: 12px; margin: 0;">Dutch Bros No.: TX1802</p> <p style="font-size: 8px; margin: 0;">2230 Ridge Rd, Rockwall, TX 75087</p> <p style="font-size: 8px; margin: 0;">MAIN & MAIN CAPITAL GROUP, LLC</p> <p style="font-size: 8px; margin: 0;">5750 Genesis Ct, Suite 103, Frisco, Texas 75034 tel 214-308-0008</p>																		
PROJECT/CLIENT: #21090																			
SUBMITTAL RECORD:	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th style="width: 60%;">DATE:</th> <th style="width: 40%;">SUBMITTAL</th> </tr> </thead> <tbody> <tr> <td>10/15/21</td> <td>SITE PLAN</td> </tr> <tr> <td>12/06/21</td> <td>SUBMITTAL</td> </tr> <tr> <td></td> <td>SITE PLAN</td> </tr> <tr> <td></td> <td>RE-SUBMITTAL</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE:	SUBMITTAL	10/15/21	SITE PLAN	12/06/21	SUBMITTAL		SITE PLAN		RE-SUBMITTAL								
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SHEET:	<h1 style="margin: 0;">ES-0.1</h1>																		



North Elevation - (Walk-Up Elevation)
1/4" = 1'-0"



East Elevation - (Front Elevation)
1/4" = 1'-0"

Material Calculations

Drive-Up Elevation:	
Primary Material:	Brick 76%
Secondary Material:	Nichia Siding 24% (Request variance)
Rear Elevation:	
Primary Material:	Brick 100%
Walk-Up Elevation:	
Primary Material:	Brick 100%
Front Elevation:	
Primary Material:	Brick 60%
Secondary Material:	Nichia Siding 40% (Request variance)

SITE PLAN SIGNATURE BLOCK

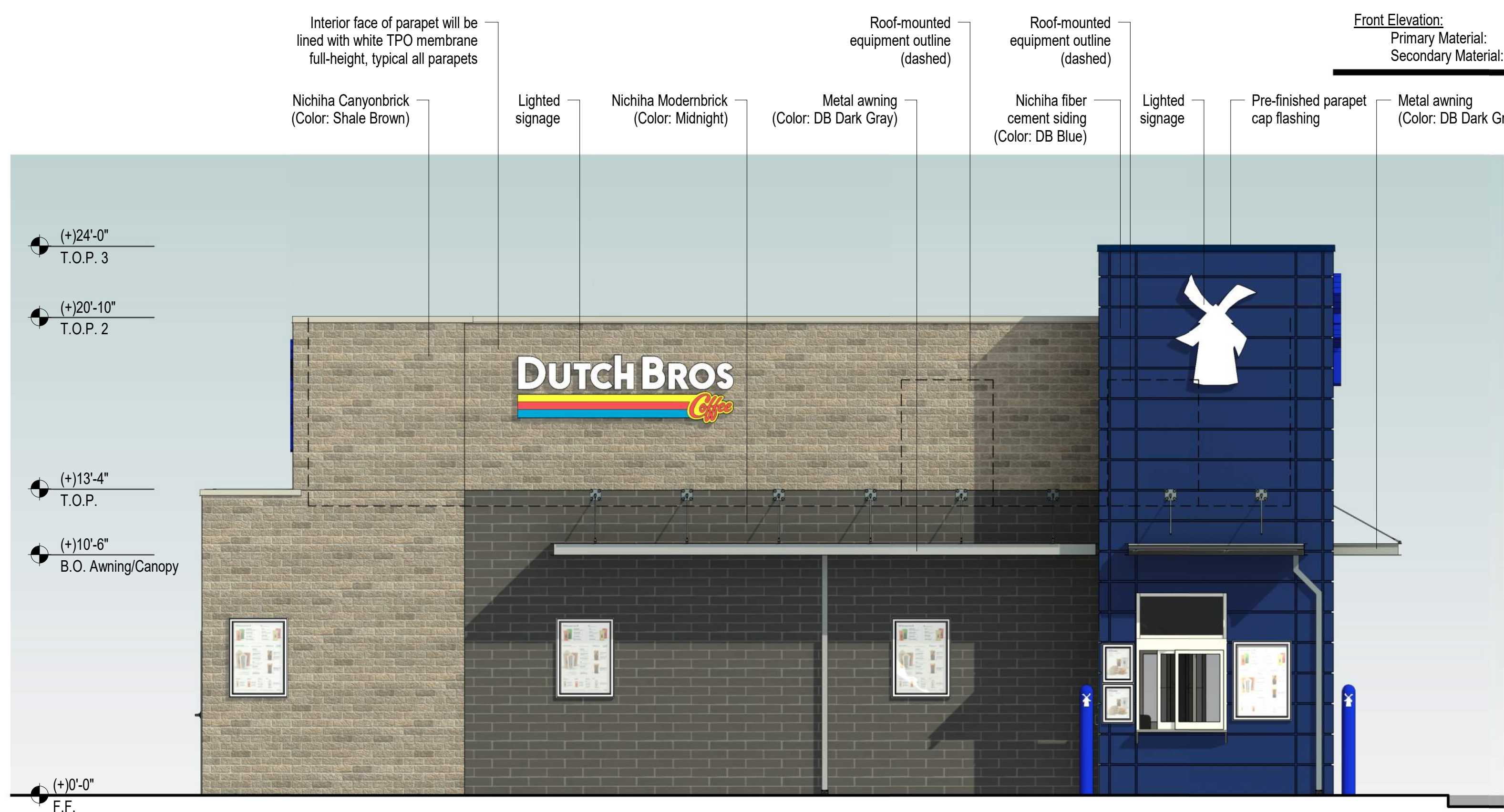
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

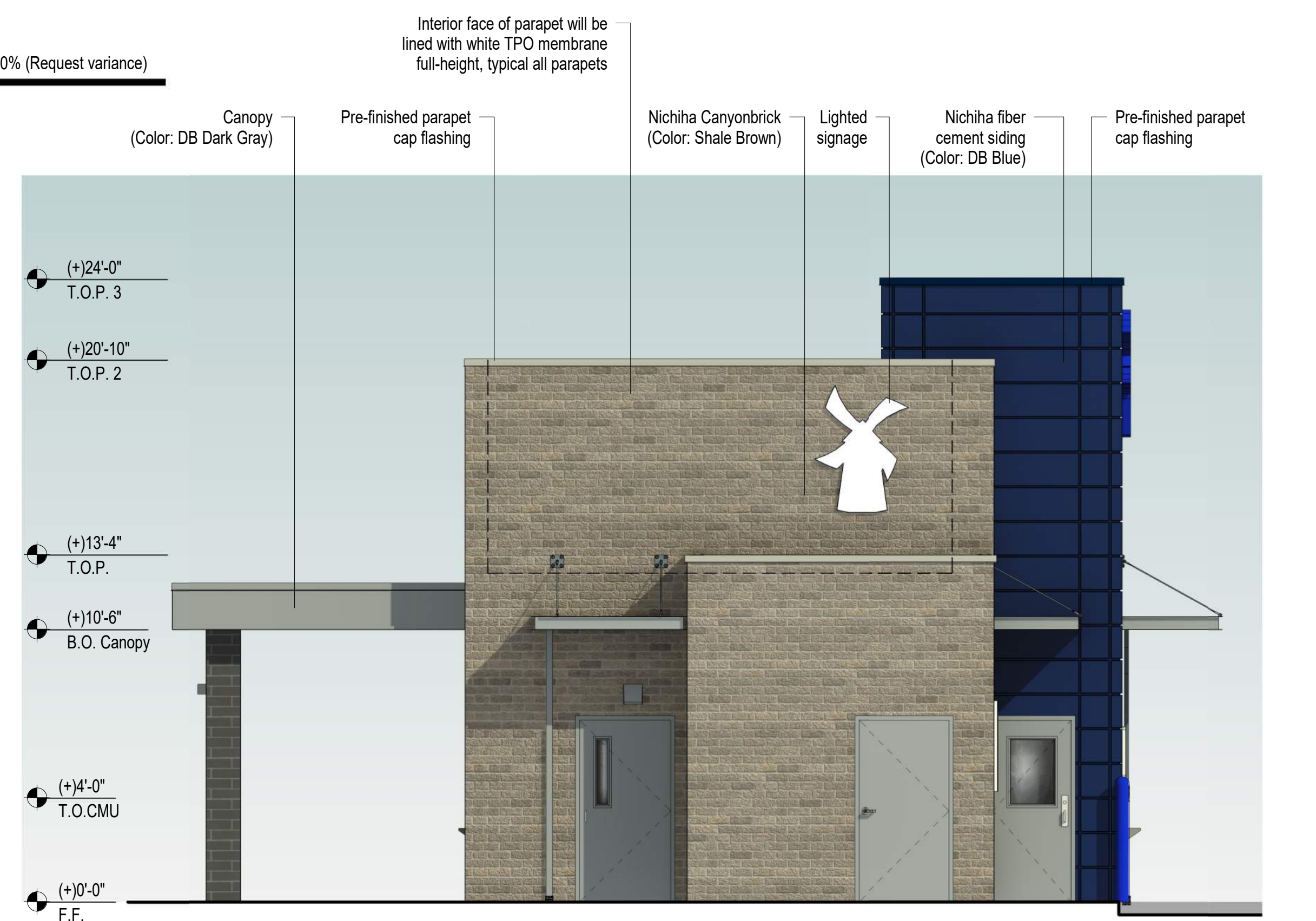
WITNESS OUR HANDS, THE ____ DAY OF ____.

PLANNING & ZONING COMMISSION CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



South Elevation - (Drive-up Elevation)
1/4" = 1'-0"



West Elevation - (Rear Elevation)
1/4" = 1'-0"

(SP2021-031)





Front (Primary Elevation)/Drive-Thru



Front (Primary Elevation)/Walk-Up



Rear/Walk-Up



Rear/Drive-Thru

SITE PLAN SIGNATURE BLOCK

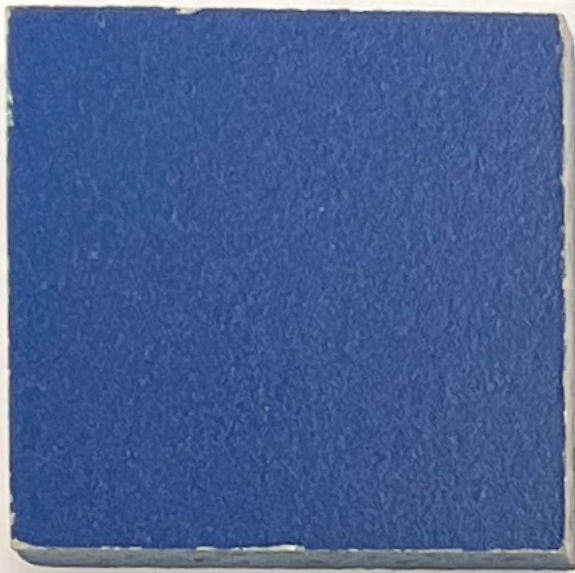
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.
 WITNESS OUR HANDS, THE ___ DAY OF ___, ___.

 PLANNING & ZONING COMMISSION CHAIRMAN

(SP2021-031)





1. Nichiha Fiber Cement Siding, Dutch Bros Blue



2. Nichiha Canyonbrick, Shale Brown



3. Nichiha Modernbrick, Midnight

Applicant Information

Sam Moore
Main & Main
5750 Genesis Ct. Suite 103
Frisco, TX 75034
(817) 505-8117
sm@maincg.com

Owner Information

Jason Claunch
7.1 Ridge LLC
106 E Rusk Suite 200
Rockwall, TX 75087
(972) 999-0081 x101
jason@catalystcommercial.net

Dutch Bros Coffee
Case Z2021-032



Dutch Bros No.: TX1802
2230 Ridge Rd, Rockwall, TX 75087
MAIN & MAIN
CAPITAL GROUP, LLC
5750 Genesis Ct, Suite 103, Frisco, Texas 75034
tel 214-308-0008

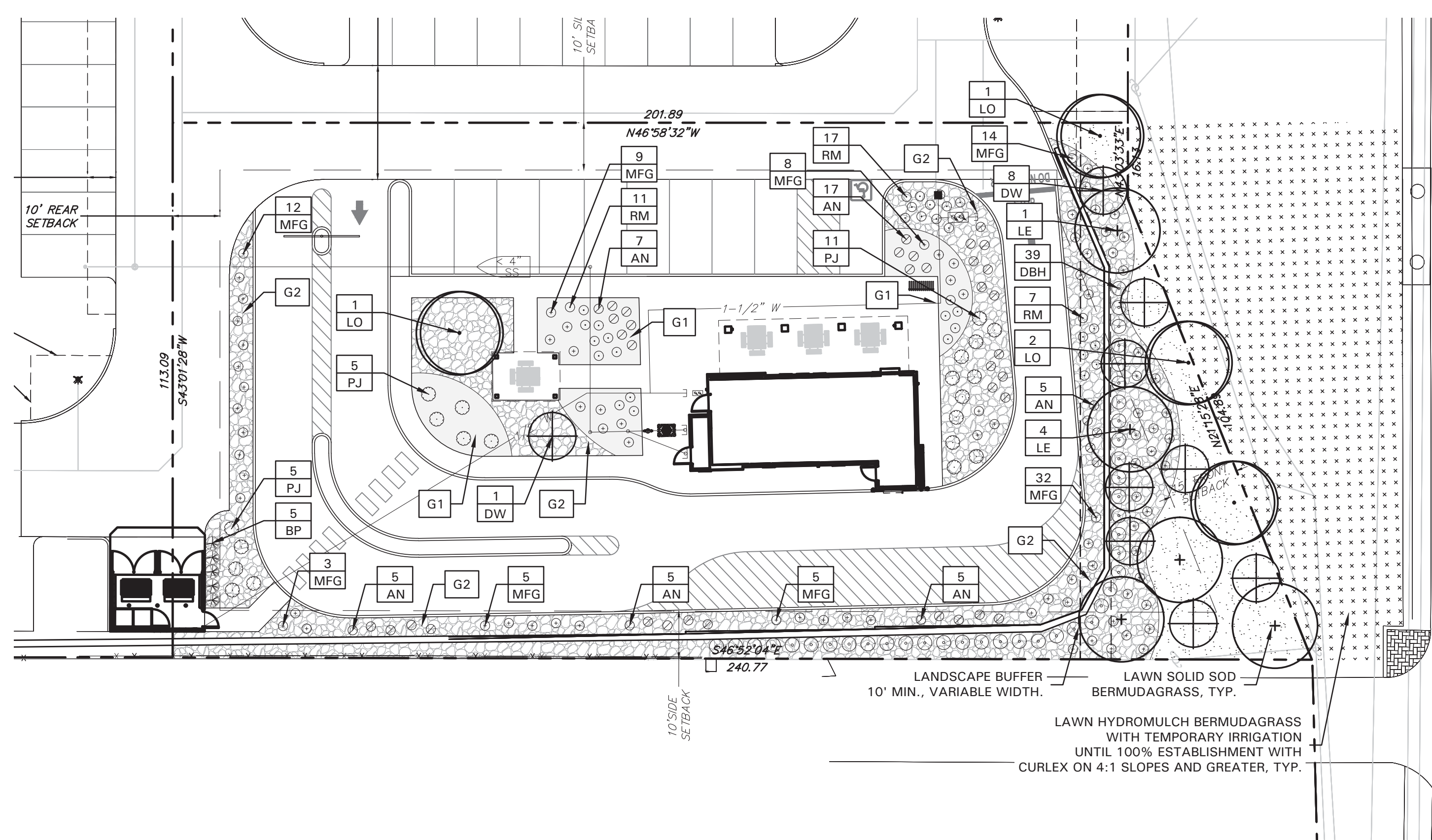


DATE:	SUBMITTAL
10/15/21	SITE PLAN
11/08/21	SUBMITTAL
12/06/21	CITY COMMENTS

4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

LANDSCAPE PLAN

L1.01



RIDGE RD (FM 740)
RIGHT-OF-WAY VARIES

LANDSCAPE BUFFER
10' MIN., VARIABLE WIDTH.

LAWN SOLID SOD
BERMUDAGRASS, TYP.

LAWN HYDROMULCH BERMUDAGRASS
WITH TEMPORARY IRRIGATION
UNTIL 100% ESTABLISHMENT WITH
CURLX ON 4:1 SLOPES AND GREATER, TYP.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 10'-0" OF ANY UTILITIES 10" DIA. OR GREATER.**
- NO TREES WITHIN 5'-0" OF ANY UTILITIES 10" DIA. OR LESS.**
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC**

GENERAL TREE SURVEY NOTE:
NO EXISTING TREES LOCATED ON SITE

LANDSCAPE TABULATIONS
THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.W. BUFFER
1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) l.f. and one accent tree per (50) l.f., to include groundcover, berm, and shrubbery.

RIDGE ROAD (FM 740): 121 l.f.
Required
10' wide buffer
(8) trees, 4" cal.
(8) accent trees

Provided
20' wide buffer
(8) trees, 4" cal.
(8) accent trees

SITE LANDSCAPING
1. Twenty (20%) percent of the total site shall be landscaped for COMMERCIAL.
2. Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 0.56 AC; 24,760 s.f.

Required	Provided
4,952 s.f. (20%)	8,100 s.f. (32%)
2,476 s.f. (50%)	2,812 s.f. (56%)

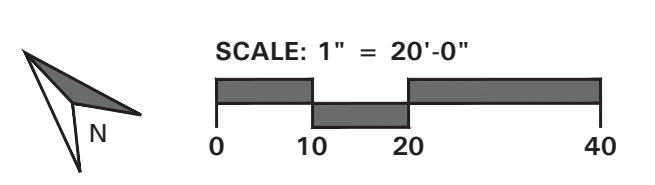
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
DW	<i>Chilopsis linearis</i>	Desert Willow	9	30 gal.	container grown, 3-5 trunk, 8' ht. min., 4' spread min.
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	5	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	4	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
SHRUBS/GROUND COVER					
AN	<i>Juniperus tobira 'Andorra'</i>	Andorra Juniper	44	5 gal.	container full, 20" spread
BP	<i>Juniperus chinensis 'Blue Point'</i>	Blue Point Juniper	5	5' ht.	B&B, full to base, matching
DBH	<i>Ilex cornuta 'Dwarf Burford'</i>	Dwarf Burford Holly	39	5 gal.	container full, 24" spread
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass	88	3 gal.	container full
PJ	<i>Juniperus chinensis 'Pfitzerana Glauca'</i>	Blue Pfitzer Juniper	21	5 gal.	container full, 20" spread
RM	<i>Rosmarinus officinalis 'Tuscan Blue'</i>	Upright Rosemary 'Tuscan Blue'	35	3 gal.	container full, 20" spread
G-1	<i>Cynodon dactylon</i>	Common Bermudagrass			refer to Notes
G-2		Crushed Basalt			crushed basalt, 1" dia., 4" depth with weed barrier fabric
		Crushed Limestone			3" -4" dia., 4" depth with weed barrier fabric

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

PROJECT SUMMARY TABLE

ZONING	C (COMMERCIAL DISTRICT)
EXISTING LAND USE	VACANT/UNDEVELOPED
PROPOSED LAND USE	LIMITED SERVICE RESTAURANT
LOT AREA	0.568 ACRES (24,764 S.F.)
BUILDING AREA	950 S.F.
BUILDING HEIGHT	24 FT (1-STORY)
SETBACK FRONT	15 FEET
SETBACK SIDE	10 FEET
SETBACK REAR	10 FEET
BUILDING COVERAGE	3.8%
LANDSCAPE AREA	0.241 ACRES (10,497 S.F.)
LANDSCAPE COVERAGE	32.3%
PARKING REQUIRED	10 SPACES (1 PER 250 S.F. + 1 PER 4 OUTDOOR SEATS)
PARKING PROVIDED	10 SPACES
HANDICAPPED PROVIDED	1 SPACE (1-25 STALLS)
TOTAL CARS IN QUEUE	29 CARS



SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 20____.

WITNESS OUR HANDS, this _____ day of _____, 20____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE #: SP2021-031

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 - Planting (trees, shrubs and grasses)
 - Bed preparation and fertilization
 - Notification of sources
 - Water and maintenance until final acceptance
 - Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 - The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as the weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
 - Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 - Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 - Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 - Remove rejected plant material immediately from job site.
 - To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Conform to all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
 - C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
 - D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
 - E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
 - F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
 - G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UFI) with a minimum 3% sulfur and 4% iron, plus micronutrients.
 - H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.
- 2.3 MISCELLANEOUS MATERIALS
- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, pointed black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDEGE Heavy Duty Steel.
 - B. Staking Material for Shade Trees: refer to details.
 - C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
 - D. Filter Fabric: "Mirafit Mirascape" by Mirafit Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
 - E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 - Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

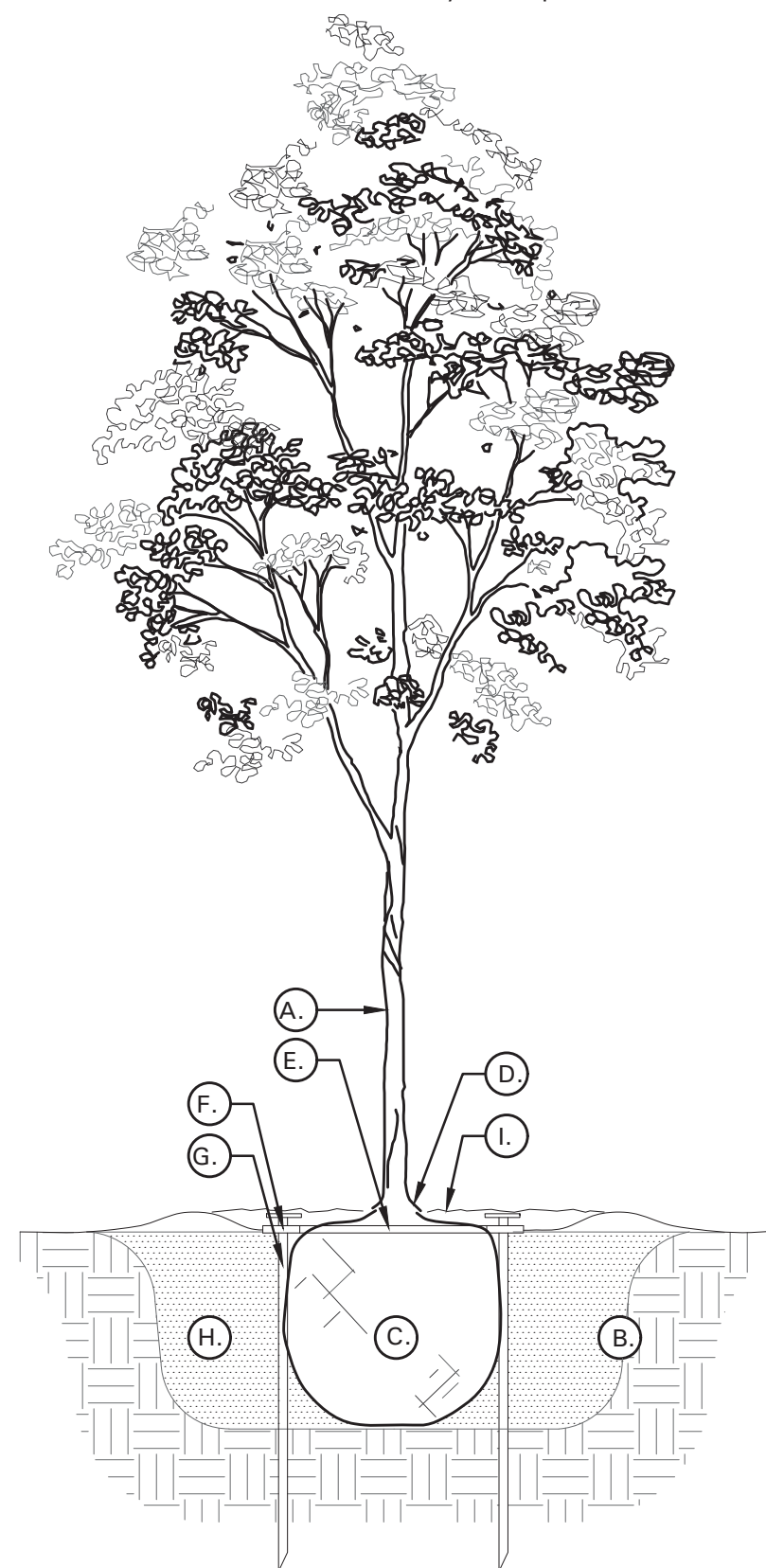
tree planting detail as approved by the Landscape Architect if the percolation test fails.

- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
 - Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be ½" maximum height above final finished grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks or curbs.
 - Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

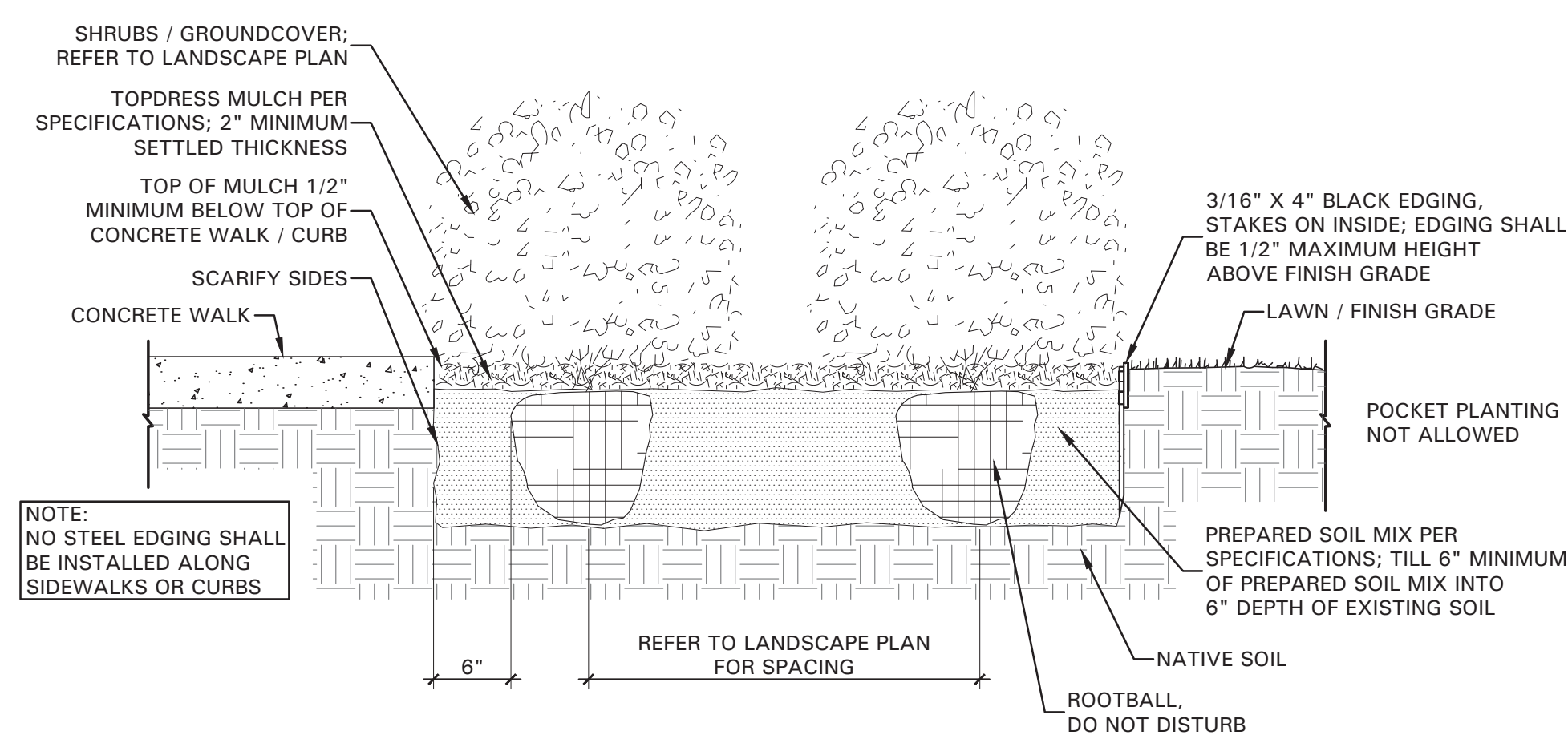
END OF SECTION



01 TREE PLANTING DETAIL NOT TO SCALE

TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP ¼ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "J" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the day of

WITNESS OUR HANDS, this day of

Planning & Zoning Commission, Chairman Director of Planning and Zoning



- 4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office

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DRAWN: RMT
DESIGNED: RMT
CHECKED/STAMPED:

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
12/06/21

DESIGNER: TECTONICS DESIGN GROUP

730 Sandhill Rd., #250, Reno, Nevada 89521
Tel: 775-824-9988
Fax: 775-824-9980
www.tectonicsdesigngroup.com

PROJECT/CLIENT: Dutch Bros No.: TX1802
: 21090

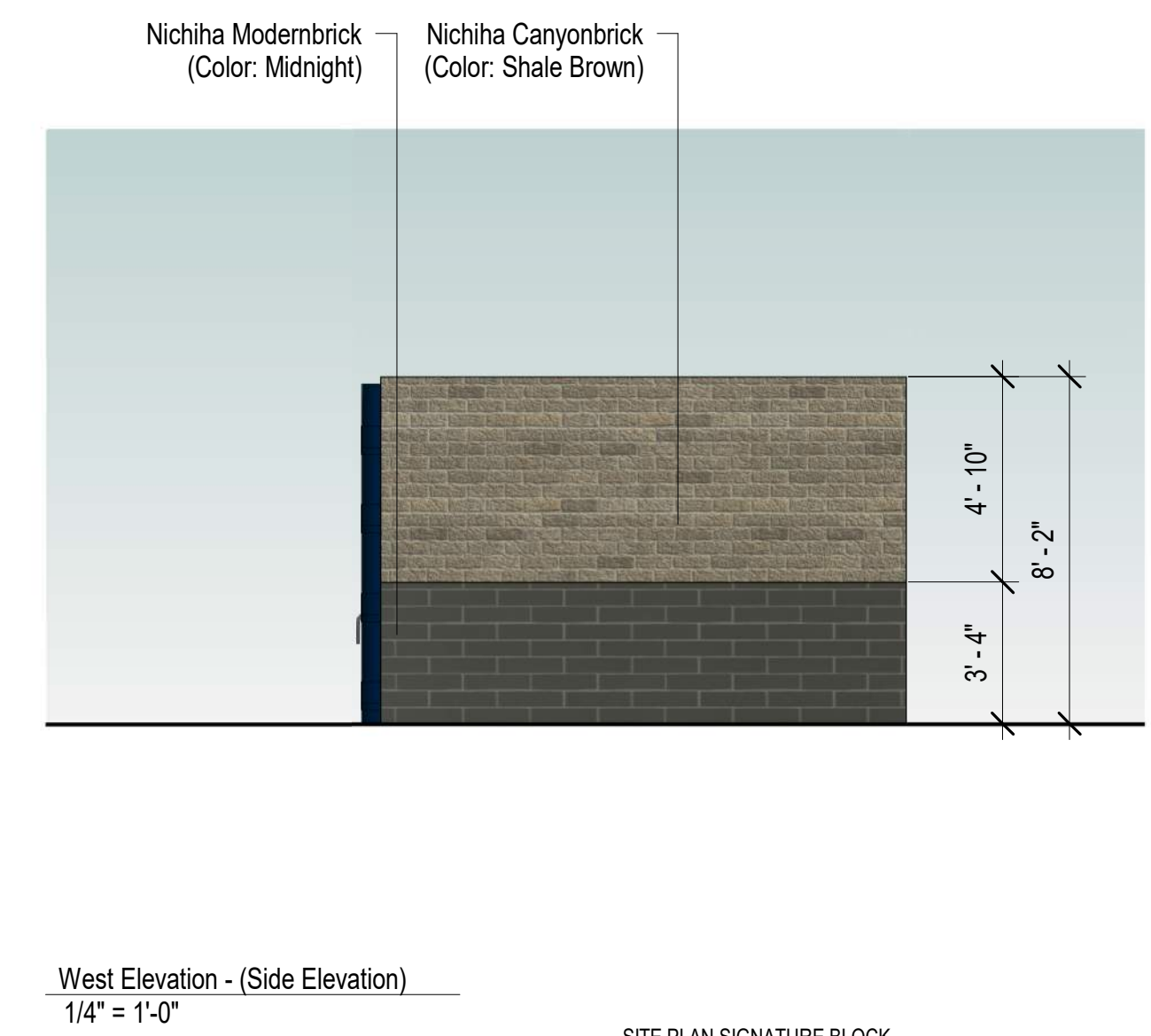
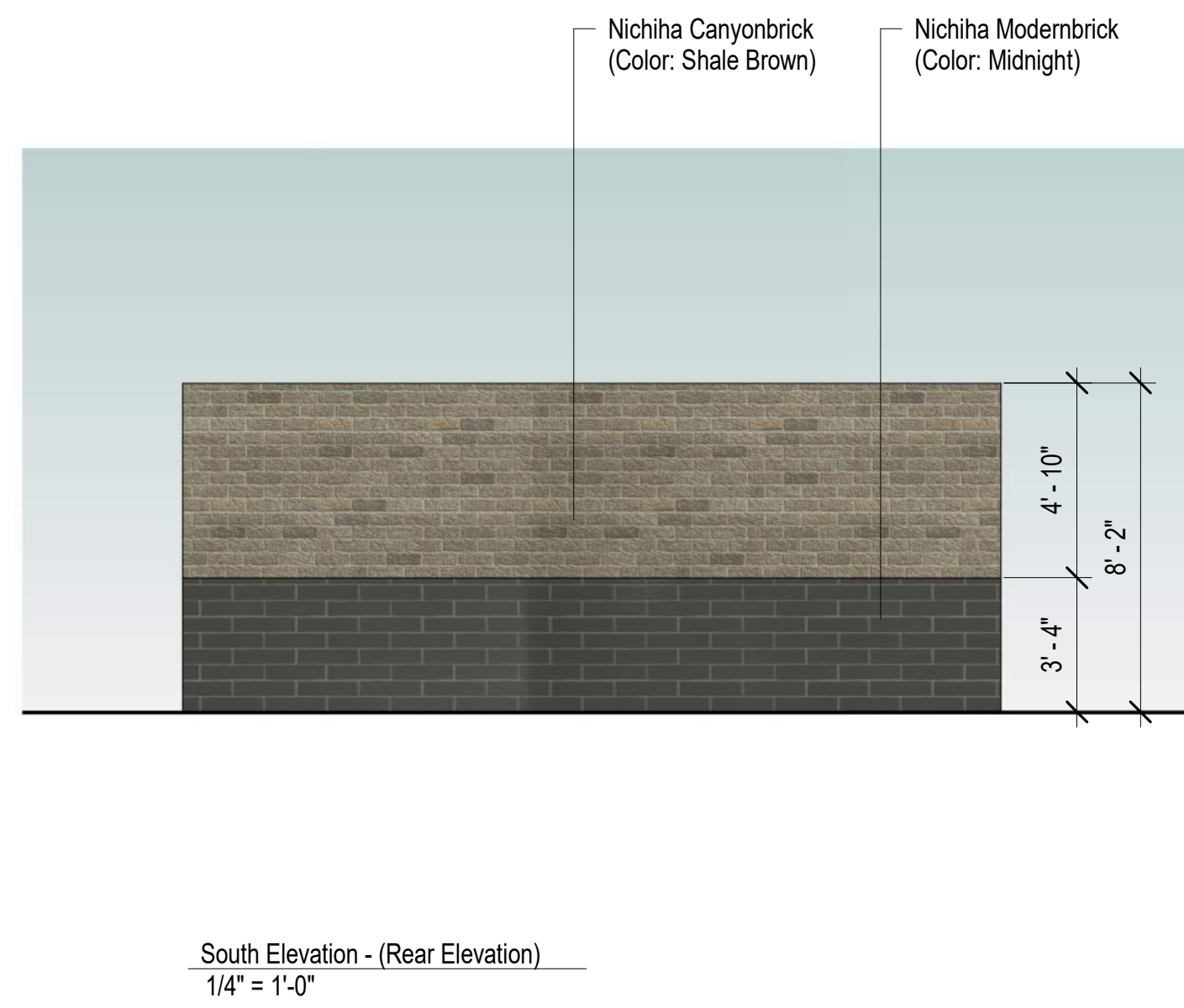
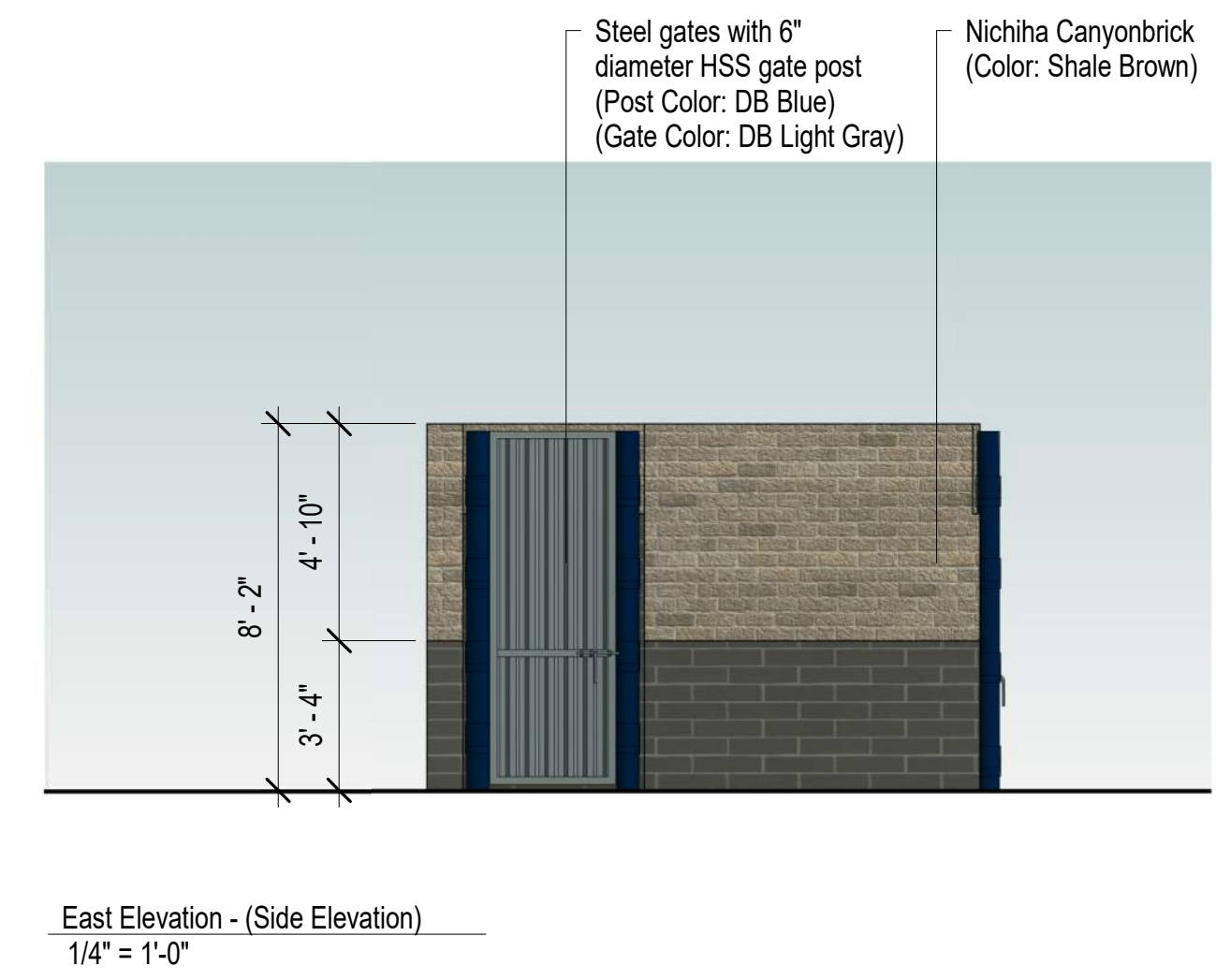
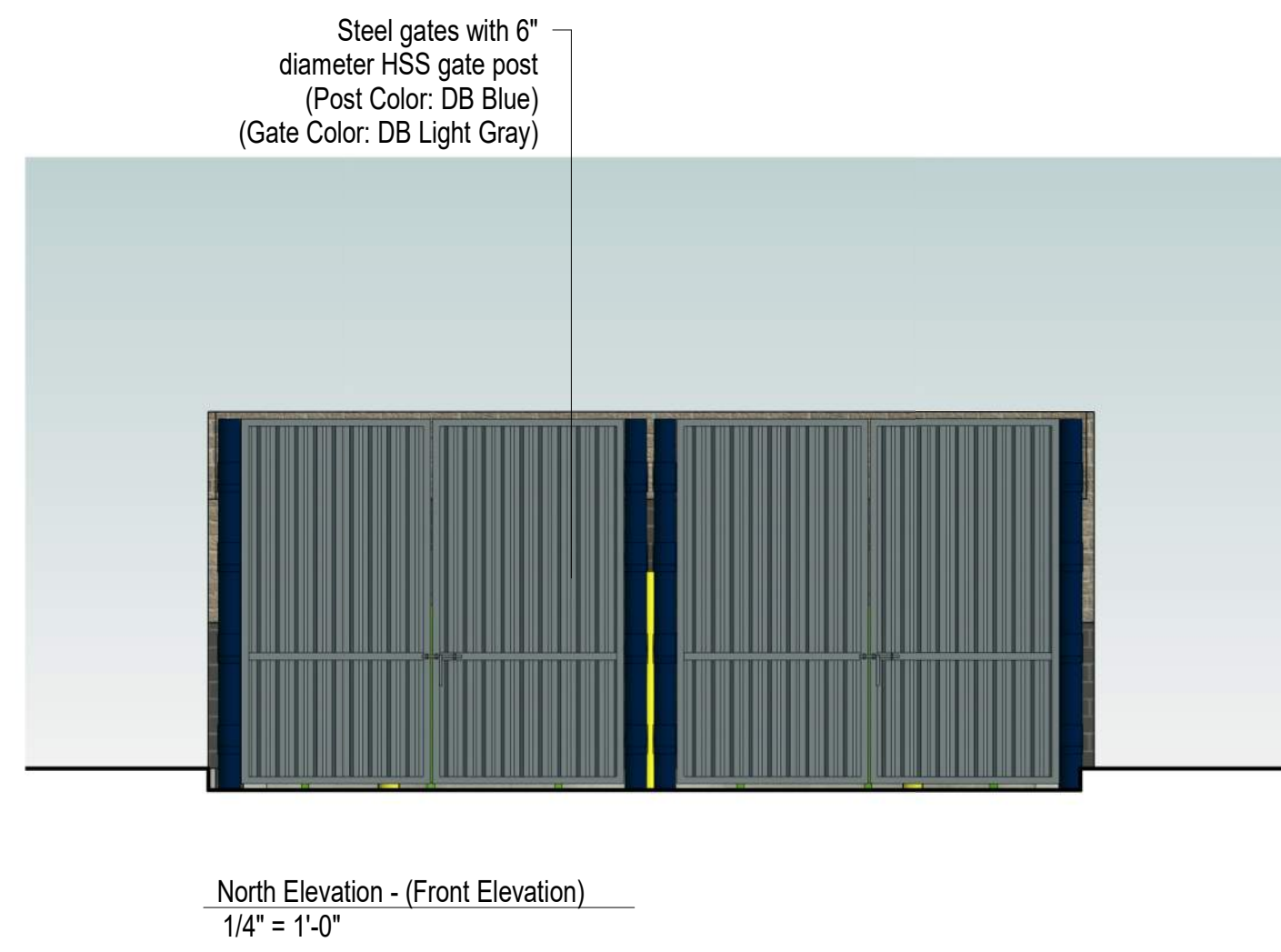
2230 Ridge Rd, Rockwall, TX 75087

MAIN & MAIN CAPITAL GROUP, LLC
5750 Genesis Ct, Suite 103, Frisco, Texas 75034
tel 214-308-0008

DATE:	SUBMITTAL
10/15/21	SITE PLAN
11/08/21	SUBMITTAL
12/06/21	CITY COMMENTS

LANDSCAPE SPECIFICATIONS AND DETAILS

L1.02



SITE PLAN SIGNATURE BLOCK

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.
WITNESS OUR HANDS, THE ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION CHAIRMAN

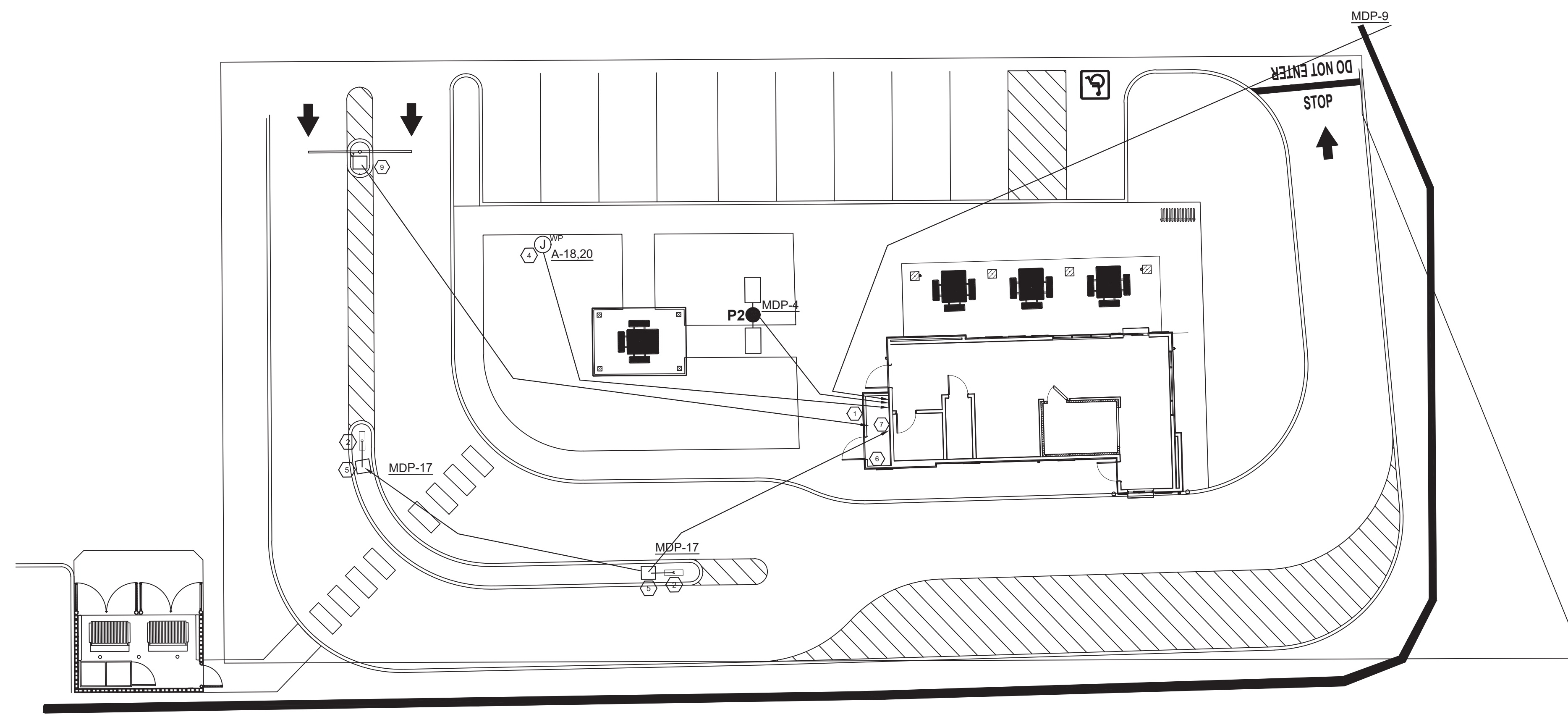
DIRECTOR OF PLANNING AND ZONING

(SP2021-031)

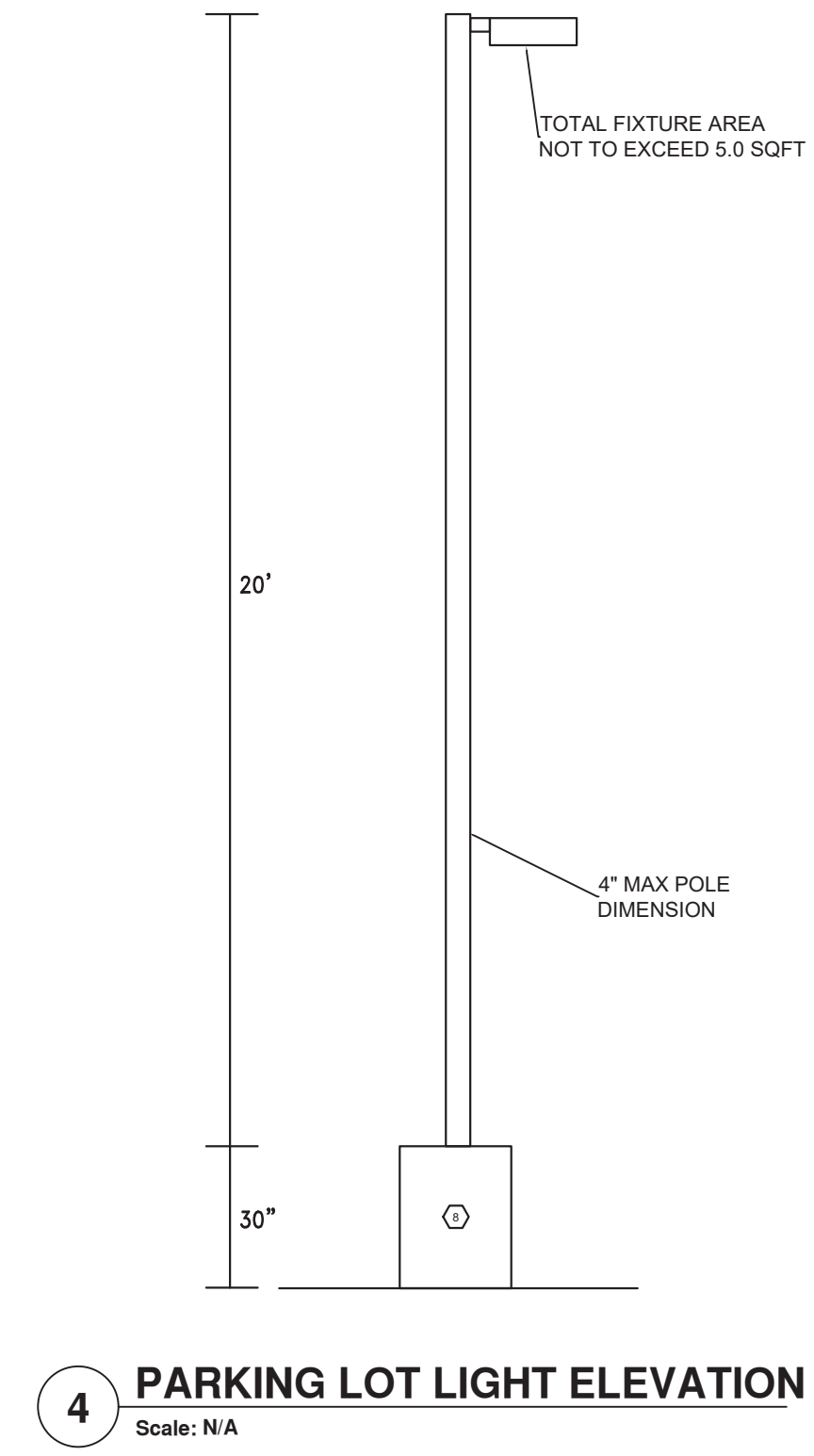




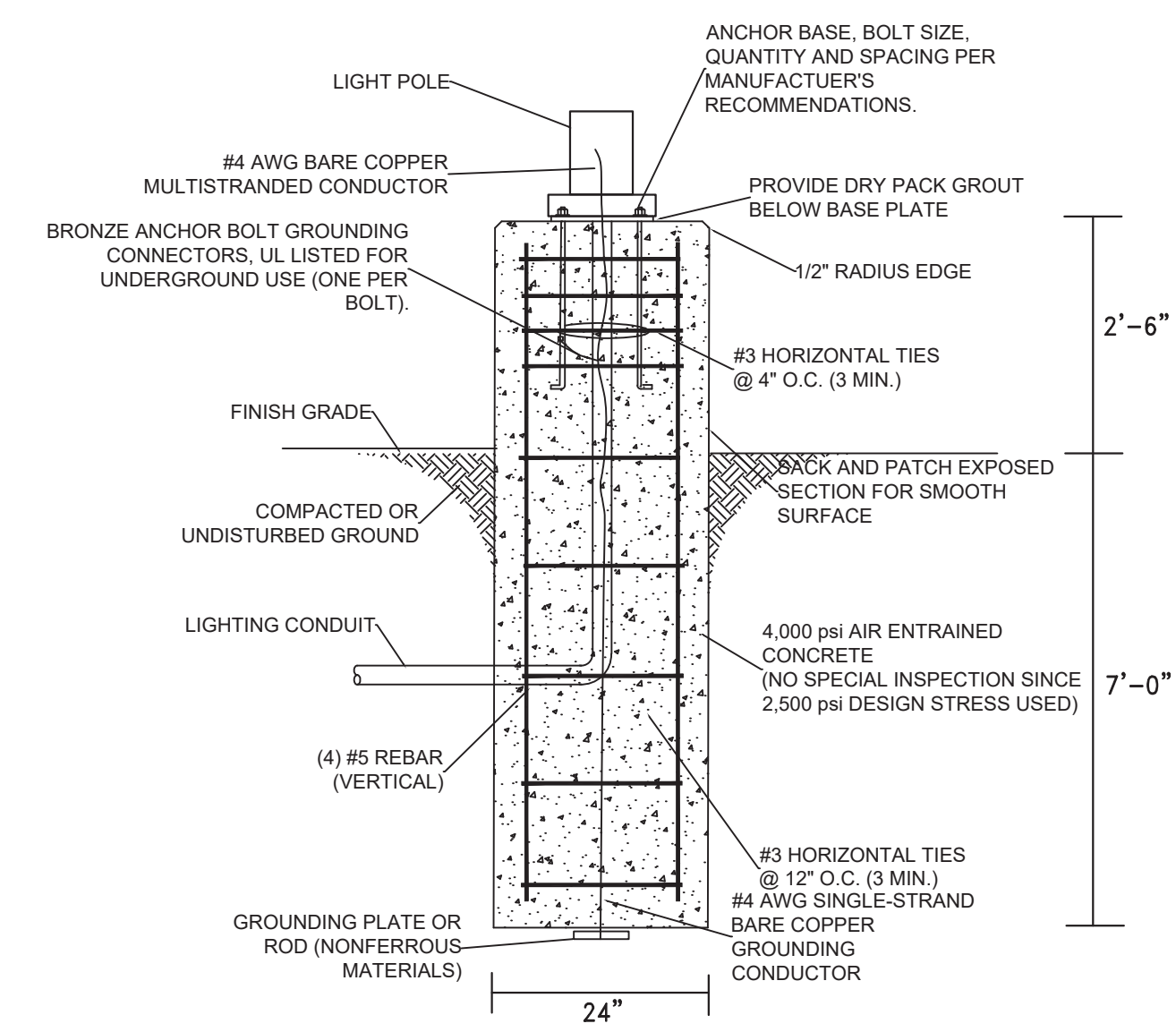




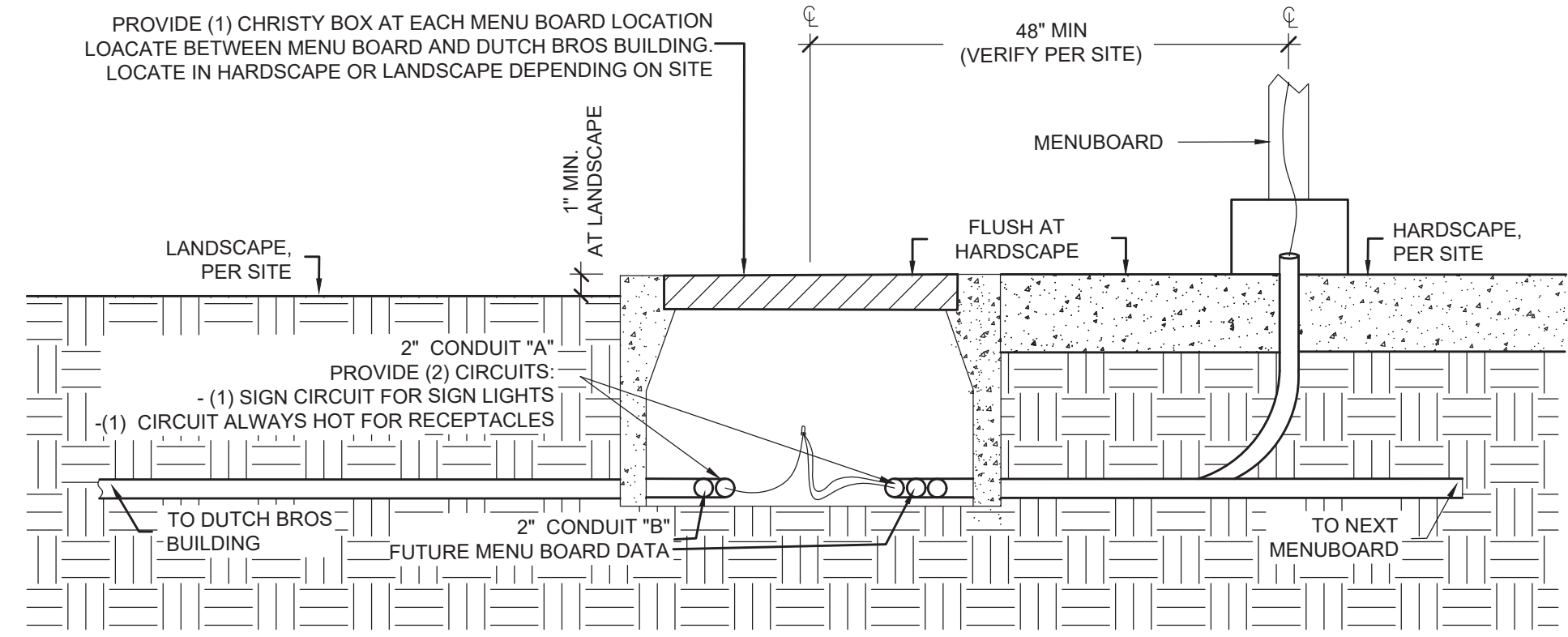
1 ELECTRICAL SITE PLAN
Scale: 0 30' 60'



4 PARKING LOT LIGHT ELEVATION
Scale: N/A



3 PARKING LOT LIGHT POLE BASE
Scale: N/A



2 MENU BOARD & CHRISTY BOX DETAIL
Scale: NOT TO SCALE

GENERAL NOTES

- FOR UTILITY TRANSFORMER, TELEPHONE SERVICE, GAS, WATER AND SANITARY SEWER LOCATIONS, SEE CIVIL SITE PLAN.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANY REQUIREMENTS AND STANDARDS. VERIFY REQUIREMENTS WITH UTILITY PRIOR TO INSTALLATION.

KEYED NOTES

- THE LOCATION OF UTILITY METER, CT CABINET AND PULL CAN. INSTALLATION PER LOCAL ELECTRIC UTILITY STANDARDS. SEE ELECTRICAL DETAIL 1 (RISER DIAGRAM) ON MODULAR BUILDING ELECTRICAL SHEET E-3.1.
- PROVIDE 120V ELECTRICAL CONNECTION WITH (2) #12 & (1) #12 GND IN A 2" PVC CONDUIT ROUTED BELOW GRADE THROUGH CHRISTY BOX FOR DRIVE-THRU BACKLIT MENU BOARD PER MANUFACTURERS INSTRUCTIONS. CONDUIT SHALL COME UP IN THE CENTER OF POST. SEE DETAIL 2 ON THIS SHEET. SIGN COMPANY REPRESENTATIVE TO GIVE EXACT LOCATIONS AND DIMENSIONS FOR EC TO MATCH. CONTRACTOR SHALL REPAIR ANY EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- PROVIDE 120V ELECTRICAL CONNECTION WITH (2) #12 & (1) #12 GND IN A 2" PVC CONDUIT ROUTED BELOW GRADE FOR MONUMENT SIGN. COORDINATE LOCATION WITH OWNER/ARCHITECT FOR MONUMENT SIGN REQUIREMENTS, IF ANY.
- (FUTURE) ELECTRIC VEHICLE CHARGING STATION LOCATION. EC TO PROVIDE A 2" MARKED 'EV CAPABLE' FROM PANEL 'A' TO THE JUNCTION BOX SHOWN ON PLANS. SEE PANEL SCHEDULE ON MODULAR BUILDING ELECTRICAL SET FOR MORE INFORMATION.
- PROVIDE A 2" PVC CONDUIT ROUTED BELOW GRADE TO CHRISTY BOX FOR FUTURE DATA CONNECTION TO DRIVE-THRU MENU SIGN PER REPRESENTATIVE INSTRUCTIONS PRIOR TO ROUGH IN. SEE DETAIL 2 ON THIS SHEET. CONTRACTOR SHALL REPAIR ANY EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- LOCATION OF CABLE INTERNET DEMARC.
- VERIFY EXACT LOCATION OF PANELS ON MODULAR BUILDING ELECTRICAL PLANS.
- LIGHT POLE BASE IS TO BE LEFT WITH THE SACK FINISH. DO NOT PAINT.
- PROVIDE A 2" CONDUIT WITH PULL STRING TO CHRISTY BOX BETWEEN 'CHOOSE LANE' DIRECTIONAL SIGN AND CLEARANCE BAR FOR FUTURE DRIVE THRU SENSORS.

SITE PLAN SIGNATURE BLOCK
APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___,
WITNESS OUR HANDS, THE ___ DAY OF ___,
PLANNING & ZONING COMMISSION CHAIRMAN DIRECTOR OF PLANNING AND ZONING

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DRAWN: S.B.G.
DESIGNED: S.B.G.
CHECKED/STAMPED: SCOTT B. GARRISON, P.E.

PRELIMINARY

STAMP:

DESIGNER: **TECTONICS DESIGN GROUP**
730 Sandhill Rd., #250, Reno, Nevada 89521
tel 775-824-9986
fax 775-824-9986
www.tectonicsdesigngroup.com

PROJECT/CLIENT: **Dutch Bros No.: TX1802**
2230 Ridge Rd, Rockwall, TX 75087
MAIN & MAIN CAPITAL GROUP, LLC
5750 Genesis Ct, Suite 103, Frisco, Texas 75034
tel 214-308-0008

PROJ # 21090

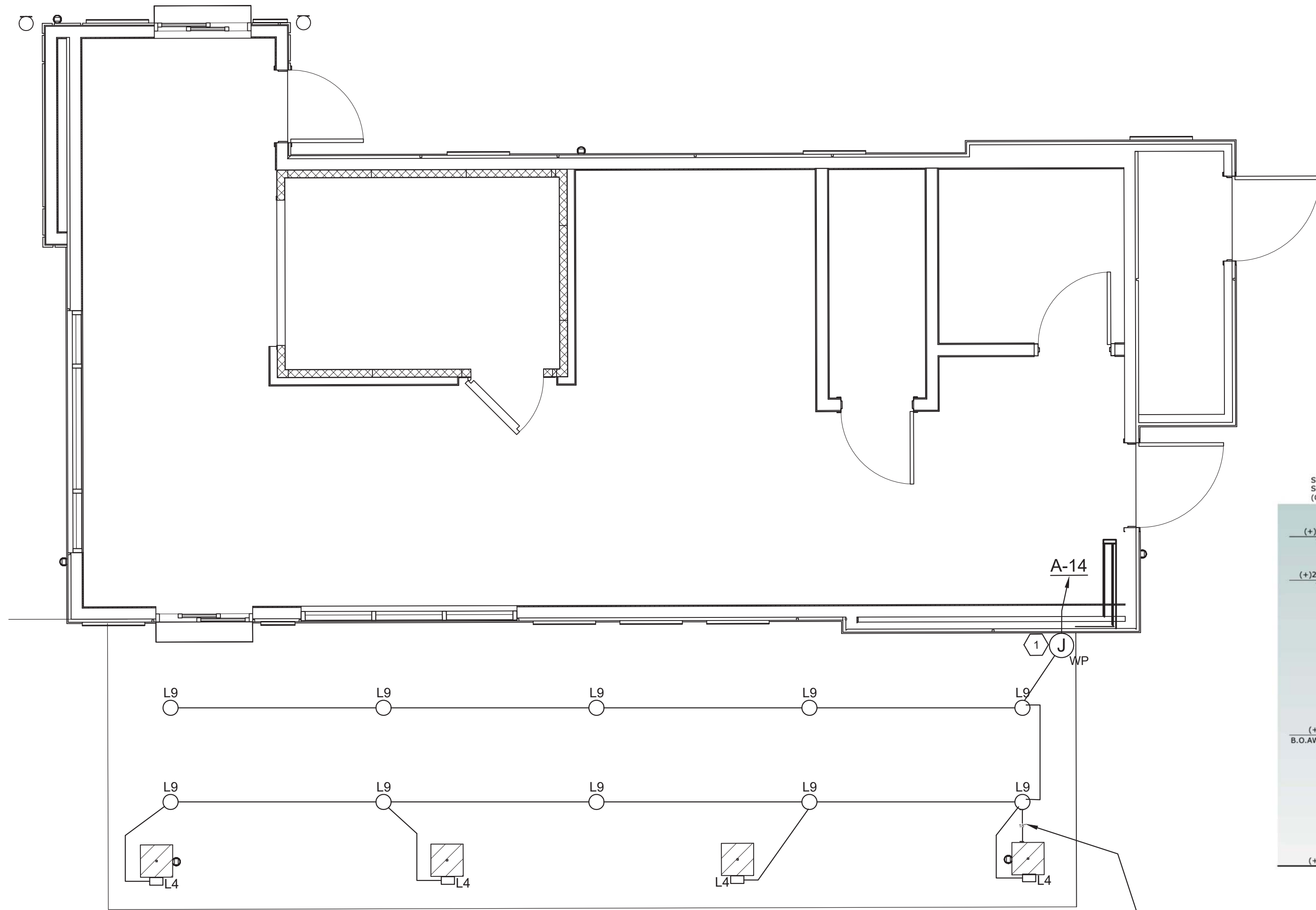
DATE:	SUBMITTAL
10/15/21	SITE PLAN
12/06/21	SUBMITTAL
	SITE PLAN
	RE-SUBMITTAL

SUBMITTAL RECORD:

SHEET TITLE: **ELECTRICAL SITE PLAN**

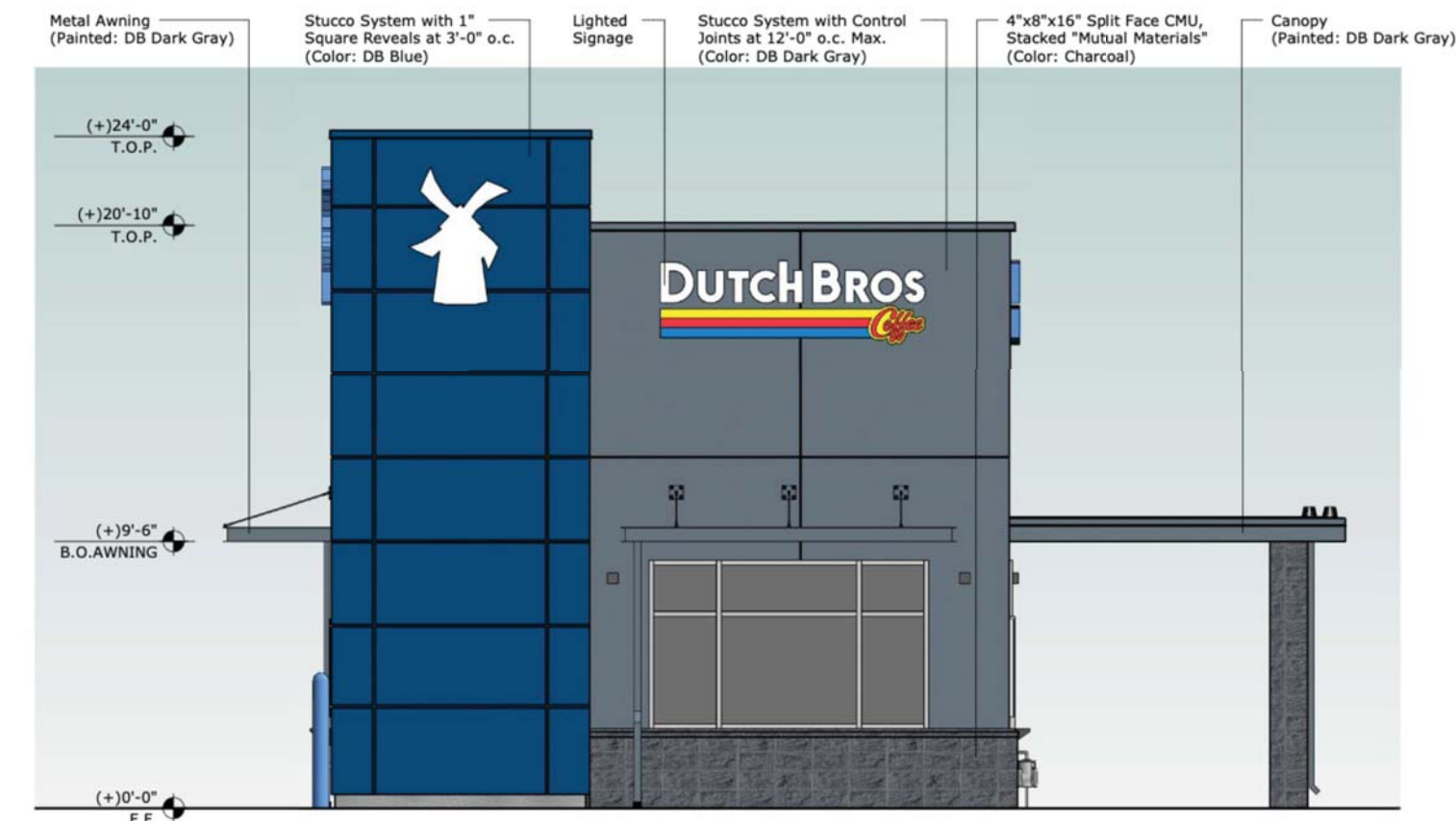
SHEET: **ES-1.0**

CASE #: SP2021-031

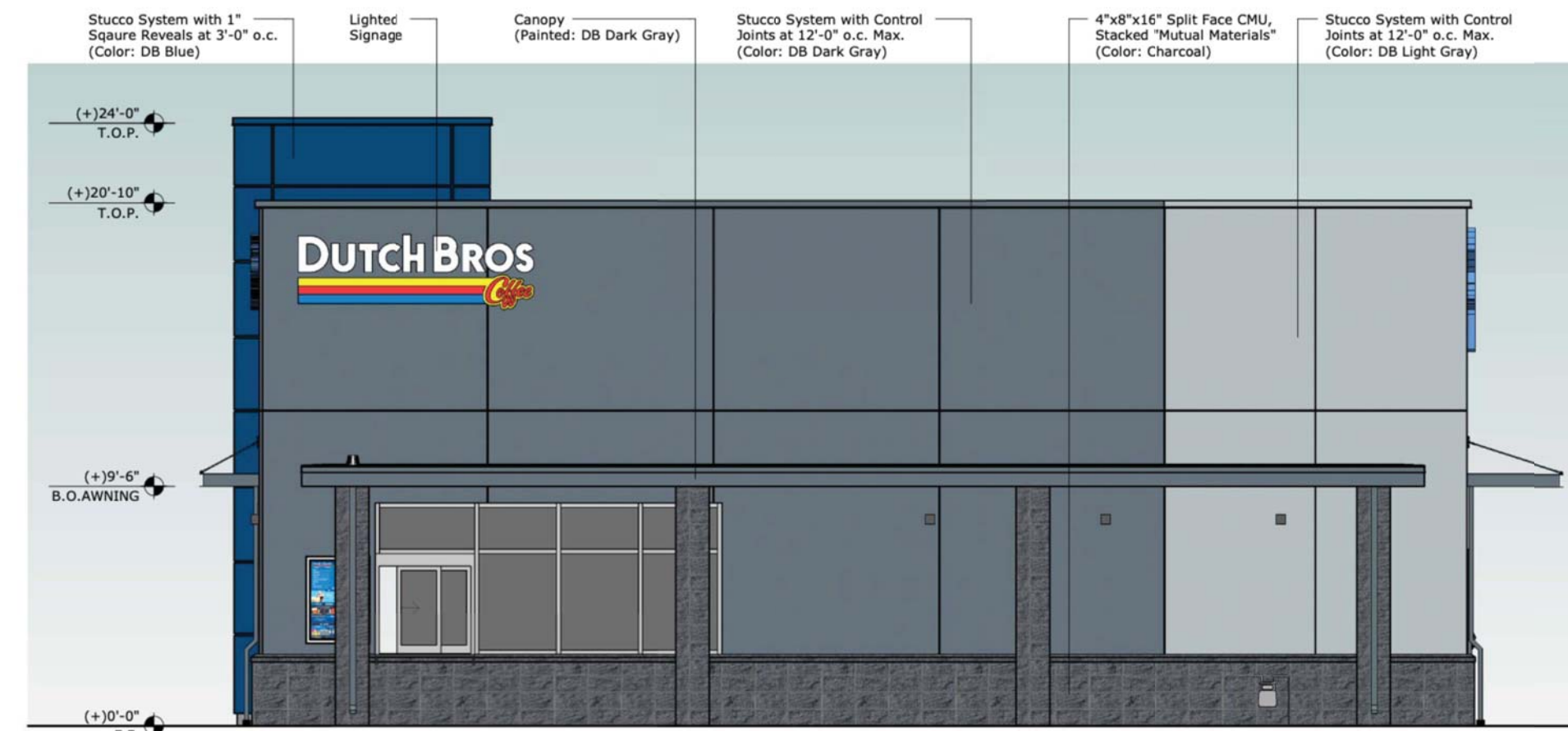


1 CANOPY LIGHTING DETAIL
Scale: 0 10' 20'

NOTE: 18" MINIMUM FROM EDGE OF EXTERIOR OF COLUMN MATERIAL TO CENTER OF LIGHT



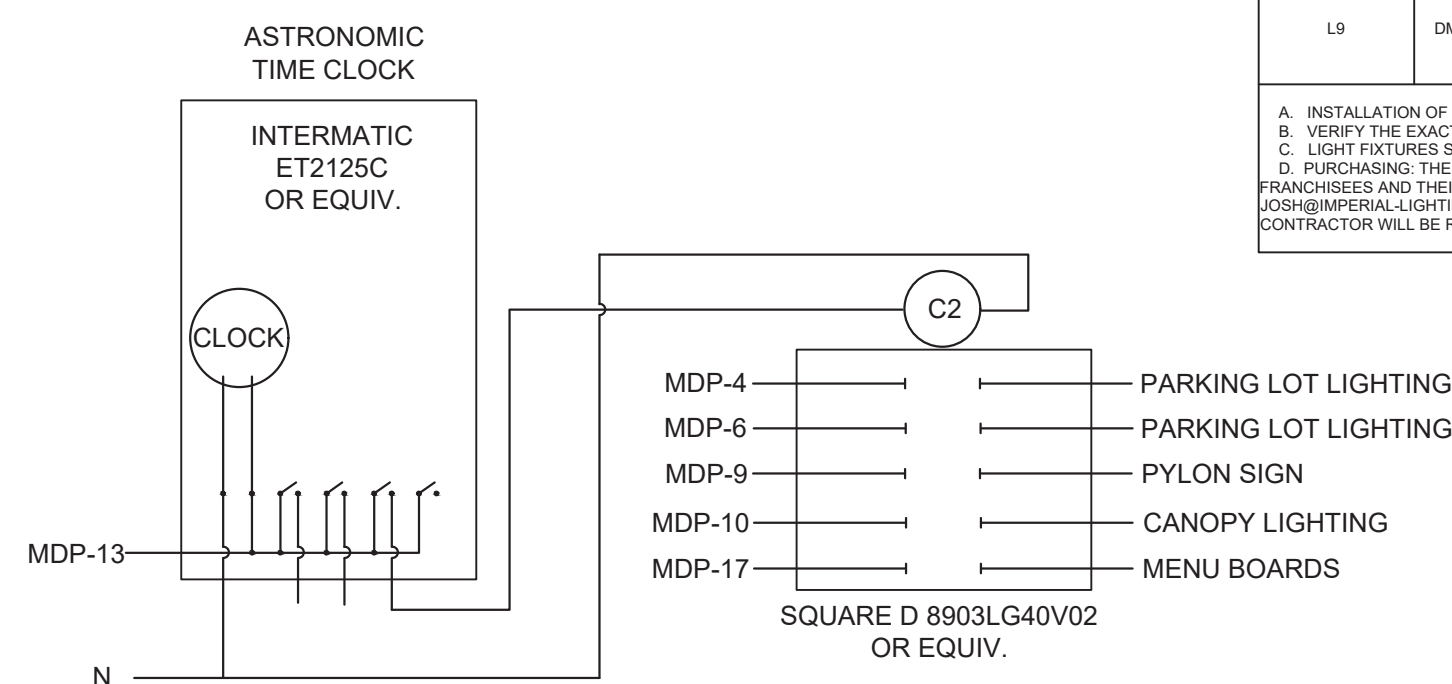
2 CANOPY FRONT ELEVATION DETAIL
Scale: NOT TO SCALE



3 CANOPY SIDE ELEVATION DETAIL
Scale: NOT TO SCALE

ID	MANUFACTURER	MODEL #	LAMP TYPE	VOLTAGE	WATTAGE	DESCRIPTION
P1	IMPERIAL LIGHTING	NLS NV-1-T3-4BL-1-40K-UNV-ASA-BRZ WITH POLE: NLS SSSP17-45-110-9BC-SGL-BRZ-3430	LED	120/277	156W	1) SITE POLE HEAD, LED 156W, 1800LM 4000K, DARK BRONZE, TYPE 3 DISTRIBUTION, WITH A 20" SQUARE 4" STEEL POLE. VERIFY PER LOCAL REQUIREMENTS PRIOR TO ORDERING - WATTS/LUMENS, KELVIN LIGHT TEMPERATURE, TYPE DIST. MOUNTING CONFIG. SINGLE OR DOUBLE, COLOR AND HEIGHT. DRILL HOLES IN POLES FOR HEADS IF REQUIRED IN FIELD. VERIFY COLOR/HEIGHT BEFORE ORDERING.
P2	IMPERIAL LIGHTING	NLS NV-1-T3-4BL-1-40K-UNV-ASA-BRZ WITH POLE: NLS SSSP17-45-110-9BC-SGL-BRZ-3430 (2 HEADS AT 180 DEGREES)	LED	120/277	156W	2) SITE POLE HEADS AT 180 DEGREES, LED 156W, 1800LM 4000K, DARK BRONZE, TYPE 3 DISTRIBUTION, WITH A 20" SQUARE 4" STEEL POLE. VERIFY PER LOCAL REQUIREMENTS PRIOR TO ORDERING - WATTS/LUMENS, KELVIN LIGHT TEMPERATURE, TYPE DIST. MOUNTING CONFIG. SINGLE OR DOUBLE, COLOR AND HEIGHT. DRILL HOLES IN POLES FOR HEADS IF REQUIRED IN FIELD. VERIFY COLOR/HEIGHT BEFORE ORDERING.
L4	TECH LIGHTING	700 DWVEX-9-3000K-4-HUNV 120V NON-DIM	LED	120/277	19W	EXTERIOR LIGHT SCENE, 5" SQUARE, 19W 600LM, 3000K, WET LOCATION, ADJUSTABLE UP/DOWN BEAM, COLOR CHARCOAL
L9	DMF LIGHTING	DRSS-4-R	LED	120/277	12W	4" ROUND CANOPY DOWNLIGHT

A. INSTALLATION OF LIGHT FIXTURES SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
 B. VERIFY THE EXACT MOUNTING HEIGHT AND FINISH OF ALL LIGHTING FIXTURES WITH ARCHITECT PRIOR TO PLACING ORDER OR COMMENCING ROUGH-IN.
 C. LIGHT FIXTURES SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
 D. PURCHASING: THE ABOVE LIGHTING MATERIAL IS TO BE PURCHASED AS A "LIGHTING PACKAGE" FROM DUTCH BROTHERS COFFEE'S NATIONAL ACCOUNT THE REQUIRED LIGHTING VENDOR - IMPERIAL LIGHTING, MADE AVAILABLE TO FRANCHISEES AND THEIR CONTRACTORS AT ESTABLISHED DISCOUNTED PRICING, USED FROM NEGOTIATED STOCK INVENTORIED PRODUCT COMMITTED TO, AND OBLIGATED FOR USE BY DBC. CONTACT JOSH ROGERS, JOSH@IMPERIAL-LIGHTING.COM, 760-458-6762, FOR QUOTATION, ORDER PLACEMENT AND DELIVERY. IF ANYTHING OTHER THAN ABOVE IS INSTALLED WITHOUT EXPRESSED WRITTEN CONSENT BY DBC CORPORATE OFFICE AND THE FRANCHISEE, CONTRACTOR WILL BE REQUIRED TO REMOVE IT AND REPLACE IT WITH THE ABOVE.



4 LIGHTING CONTROL DIAGRAM
Scale: NOT TO SCALE

GENERAL NOTES

- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ORDERING AND INSTALLING LIGHTING IN THE DUTCH BROTHERS OUTDOOR CANOPY. COORDINATE INSTALLATION WITH THE MODULAR BUILDING AFTER DELIVERY.

KEYED NOTES

- THE LIGHTING CIRCUIT INTO JUNCTION BOX LOCATED IN THE CANOPY SOFFIT (PROVIDED BY MODULAR BUILDING MANUFACTURER). JUNCTION BOX WILL HAVE CONDUIT RUNNING TO PANEL 'A' ON THE INTERIOR OF THE MODULAR BUILDING. ENSURE THE LIGHTING CIRCUIT IS TIED INTO THE TIME CLOCK.

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DRAWN: S.B.G.
DESIGNED: S.B.G.
CHECKED/STAMPED: SCOTT B. GARRISON, P.E.

PRELIMINARY

STAMP:

TECTONICS DESIGN GROUP
730 Sandhill Rd., #250, Reno, Nevada 89521
tel 775-824-9988
fax 775-824-9986
www.tectonicsdesigngroup.com

DESIGNER:

Dutch Bros No.: TX1802
2230 Ridge Rd, Rockwall, TX 75087
MAIN & MAIN CAPITAL GROUP, LLC
5750 Genesis Ct, Suite 103, Frisco, Texas 75034
tel 214-308-0008

PROJECT/CLIENT: #21090

DATE: 10/15/21
SUBMITTAL: 12/06/21

SUBMITTAL RECORD:

SHEET TITLE: CANOPY LIGHTING DETAIL
SHEET: ES-1.1

SITE PLAN SIGNATURE BLOCK

APPROVED:

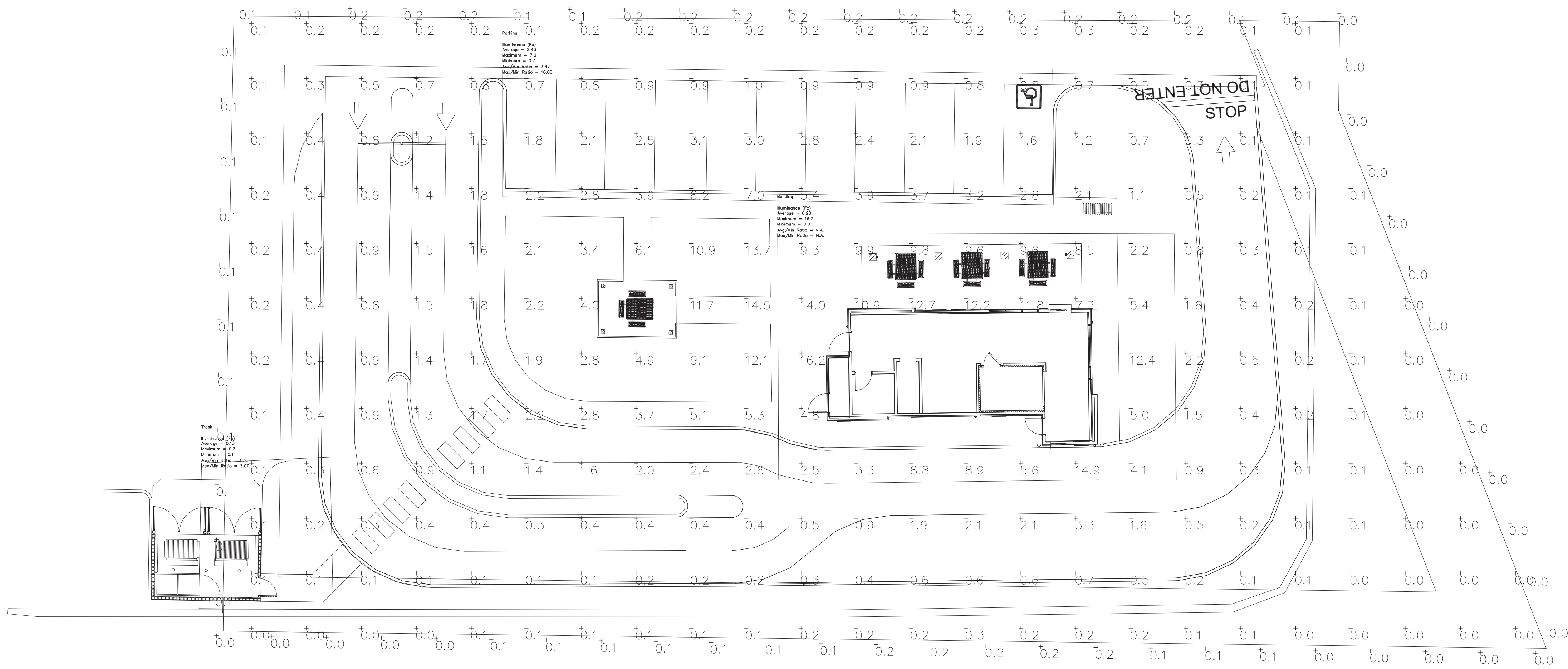
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, 20__.

WITNESS OUR HANDS, THE ___ DAY OF ___, 20__.

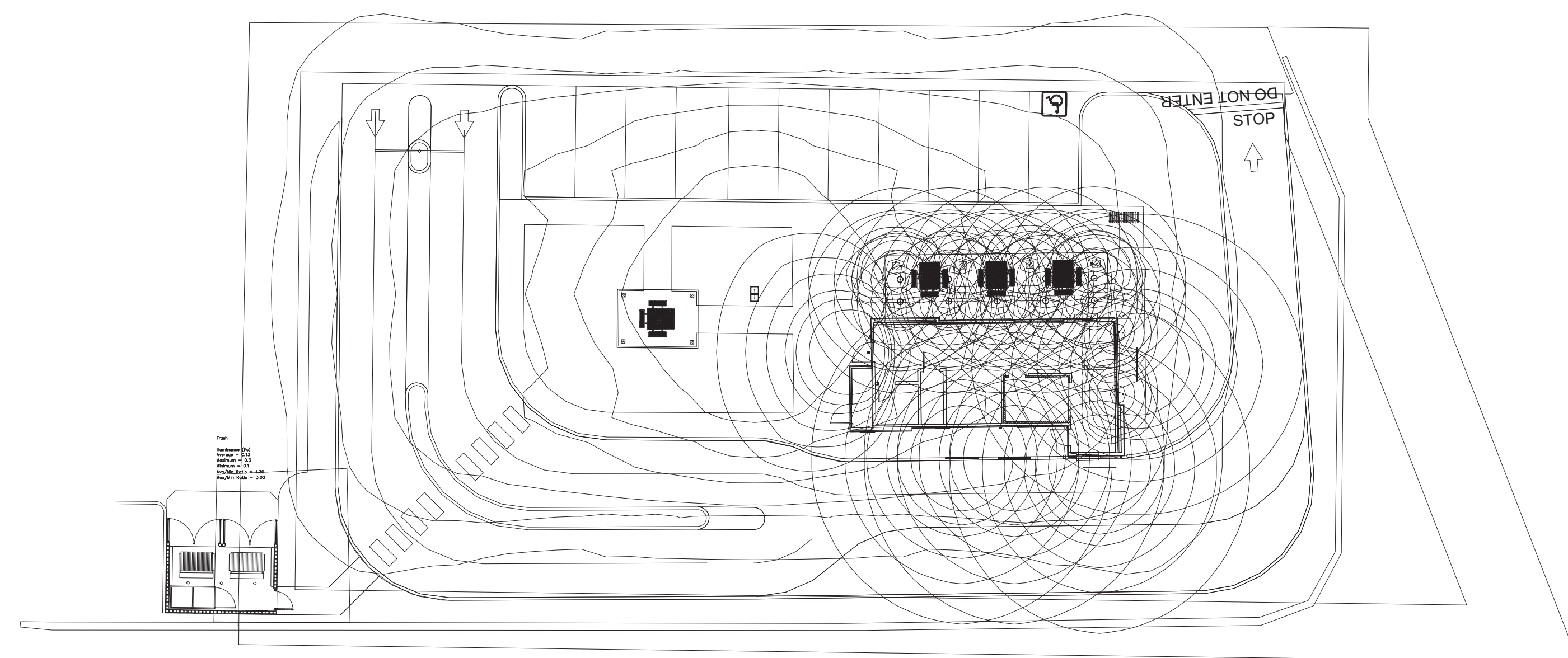
PLANNING & ZONING COMMISSION CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

CASE #: SP2021-031



1 PHOTOMETRIC CALCULATIONS
Scale: NOT TO SCALE



2 LIGHTING DISTRIBUTION AREAS
Scale: NOT TO SCALE

Photometric Statistics

PROPERTY LINE
ILLUMINANCE (FC)
AVERAGE=0.09 MAXIMUM=0.2 MINIMUM=0.0 AVG/MIN=N.A. MAX/MIN=N.A.
SITE
ILLUMINANCE (FC)
AVERAGE=1.93 MAXIMUM=16.2 MINIMUM=0.0 AVG/MIN=N.A. MAX/MIN=N.A.
BUILDING
ILLUMINANCE (FC)
AVERAGE=6.28 MAXIMUM=16.2 MINIMUM=0.0 AVG/MIN=N.A. MAX/MIN=N.A.
PARKING
ILLUMINANCE (FC)
AVERAGE=2.43 MAXIMUM=7.0 MINIMUM=0.7 AVG/MIN=3.47 MAX/MIN=10.00
TRASH
ILLUMINANCE (FC)
AVERAGE=0.13 MAXIMUM=0.3 MINIMUM=0.1 AVG/MIN=1.30 MAX/MIN=3.00

SITE PLAN SIGNATURE BLOCK
APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.
WITNESS OUR HANDS, THE ____ DAY OF ____.

PLANNING & ZONING COMMISSION CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

CASE #: SP2021-031

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DRAWN: S.B.G.
DESIGNED: S.B.G.
CHECKED/STAMPED: SCOTT B. GARRISON, P.E.

PRELIMINARY

DESIGNER: **TECTONICS DESIGN GROUP**
730 Sandhill Rd., #250, Reno, Nevada 89521
tel 775-824-9988
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PROJECT/CLIENT: **Dutch Bros No.: TX1802**
2230 Ridge Rd, Rockwall, TX 75087
MAIN & MAIN CAPITAL GROUP, LLC
5750 Genesis Ct, Suite 103, Frisco, Texas 75034
tel 214-308-0008

PROJECT/CLIENT: #21090

DATE:	SUBMITTAL
10/15/21	SITE PLAN
12/06/21	SUBMITTAL
	SITE PLAN
	RE-SUBMITTAL

SUBMITTAL RECORD:

SHEET TITLE: **PHOTOMETRIC SITE PLAN**

SHEET: **ES-2.0**

NLS LIGHTING **NV-1-ASA** **AREA LIGHTING**

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle watts utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - General Area Lighting

CONSTRUCTION

- Die Cast Aluminum
- External cooling fins, Finite Element Analysis (FEA) designed
- Corrosion resistant external hardware
- One piece silicone gasket ensures IP-65 seal for electronics compartment
- Die-cast Optics Plate mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate standard

FINISH

- 3-5 mil electrostatic powder coat
- NLS standard high-quality finishes prevent corrosion
- protects against extreme environmental conditions

WARRANTY

Five year limited warranty for drivers and LEDs.

LED WATTAGE CHART

Wattage	14.5"	17.5"	24.5"	34.5"
200 milliwatts	200	200	200	200
300 milliwatts	300	300	300	300
400 milliwatts	400	400	400	400
500 milliwatts	500	500	500	500

Project Name: _____ **Type:** _____

Card #	Light Dist.	No. of LEDs	Milliwatts	Kelvin	Volts	Mounting	Color	Options
101	Type 1 (T1)	15 (144)	200	3000K	120/277V	Professional Energy Audit (PEA)	(BLK)	Bird Deterrent (BD) House Side Shield (HSS) Automotive House Side Shield (AHS) Round Pole Adapter (RPA) FSP-211 (FSP-211) NEMA 7-Pin Receptacle (N7R) NEMA 2-Pin Receptacle (N2R) NEMA 3-Pin Receptacle (N3R) NEMA 4-Pin Receptacle (N4R) NEMA 5-Pin Receptacle (N5R) NEMA 6-Pin Receptacle (N6R) NEMA 7-Pin Receptacle (N7R) NEMA 8-Pin Receptacle (N8R) NEMA 9-Pin Receptacle (N9R) NEMA 10-Pin Receptacle (N10R) NEMA 11-Pin Receptacle (N11R) NEMA 12-Pin Receptacle (N12R) NEMA 13-Pin Receptacle (N13R) NEMA 14-Pin Receptacle (N14R) NEMA 15-Pin Receptacle (N15R) NEMA 16-Pin Receptacle (N16R) NEMA 17-Pin Receptacle (N17R) NEMA 18-Pin Receptacle (N18R) NEMA 19-Pin Receptacle (N19R) NEMA 20-Pin Receptacle (N20R) NEMA 21-Pin Receptacle (N21R) NEMA 22-Pin Receptacle (N22R) NEMA 23-Pin Receptacle (N23R) NEMA 24-Pin Receptacle (N24R) NEMA 25-Pin Receptacle (N25R) NEMA 26-Pin Receptacle (N26R) NEMA 27-Pin Receptacle (N27R) NEMA 28-Pin Receptacle (N28R) NEMA 29-Pin Receptacle (N29R) NEMA 30-Pin Receptacle (N30R)

DRD5S & SurfaceFrame
Surface Mount LED Downlight
New Construction
DRDHJQ Octagonal Junction Box

Project: _____ Type: _____
Product Code: _____ Date: _____
Spec Sheet V-10.01.20

Application
New Construction

Delivered Lumens
750 lm (3.0W), 1000 lm (12.0W)

Color Temperature
2700K 3000K 3500K

Input Voltage
120/277V

Dimming
TRIAC/ELV 5%
0-10V 1%

Emergency Lighting
Optional Emergency LED Driver with Integrated Test Switch for lighting up to 10 minutes in event of power failure

Aperture
4" Octagonal Junction Box

Color Quality
90+ CRI, 3-step SDCM

Optics
General

Finish
White

Module Rating
UL Listed for Wet Location

Standards
UL, ENEC, CE, RoHS, REACH

Guarantee
50,000 hrs | 5 years

Additional Options
Non-Conductive Dead Front

dmflighting.com

VEX WALL SCONCE **TECH LIGHTING**

With its unassuming minimalist profile, the Vex outdoor LED wall sconce features up and down lighting and delivers a wide range of optical control and illumination options in a unique and deceptively simple design. Independent, up and down beam angles from 10° - 120° are achieved with simple tool-free adjustment. Beams can be set symmetric or asymmetric in both directions and are lockable. Angle markers ensure consistent and precise aiming and adjustment from fixture to fixture. Vex is ideal for indoor or outdoor accent lighting, ambient and/or way-finding applications where beam angle is critical and/or being used to add dramatic effects.

Key features

- Tool-free, independent, up/down beam angle adjustment 10° - 120°
- Asymmetric or Symmetric Beam Shaping
- Lockable
- Angle markers for consistent and precise aiming

SPECIFICATIONS

DELIVERED LUMENS	354
WATTAGE	18.3
VOLTAGE	Universal 120V-277V
DIMMING	0-10V, ELV, TRIAC, CL, Non-Conductive
LIGHT DISTRIBUTION	Symmetric or Asymmetric depending on beam shape/option
INSTALLATION OPTIONS	Wall
OPTICS	Adjustable beam spread
CCT	2700K, 3000K or 3500K
CRI	90+
COLOR RENDERING	3-Step
ROCK SHIELD	300-300
DARK SKY	Non-Compliant
WET LISTED	IP65
GENERAL LISTING	ETL ADA
CALIFORNIA TITLE 24	Compliant with California Title 24 Part 6 for outdoor use. Registration with CEC. American Standard test required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Marine Grade Powder Coat
LED LIFETIME	150,000 Hours
WARRANTY	5 years
WEIGHT	2.4 lbs.

ORDERING INFORMATION

PRODUCT CODE	APERTURE	SHAPE	FINISH	INPUT VOLTAGE
DRD5S	4"	Round	White	120/277V
DRD5S	4"	Round	Black	120/277V
DRD5S	4"	Round	Black	120/277V

techlighting.com

ELECTRICAL

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is > .95, THD maximum load is 15%
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- Luminaire uses MLED LEDs
- CRI > 70
- Color temperatures: 3000K, 4000K, 5000K

OPTIONS

- BIRD DETERRENT (BD)** - Offers effective and humane solution for larger bird species and provides cost-effective long-term solution to nuisance bird infestations and protect your property.
- MARINE GRADE FINISH (MGF)** - A multi-step process creating protective finishing coat against harsh environments.
 - Chemically washed in a 5 stage cleaning system.
 - Pre-Baked
 - Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer.
 - 1/2 mil wet coat side coverage top and bottom.
 - Dura-Baked.
 - Finished powder coating of super durable Polyester Powder Coat 3-5 mil thickness.
- SHIELDS (HSS, AHS)** - House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaires.
- ROUND POLE ADAPTER (RPA)** - When using round poles, specify Round Pole Adapter (RPA). Specify RPA when installing on 3"-4" round poles, and RPA's when installing on 5"-6" round poles.
- FSP-211 (FSP-X)** - Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
 - All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
 - FSP-20 mounting heights 9-20 feet.
 - FSP-40 mounting heights 21-60 feet.
 - Includes 5 dimming event cycles, 0-10V dimming with motion sensing, reprogrammable in the field.
- NEMA 7-PIN RECEPTACLE (N7R)** - An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.

OPTICS

Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life, UV and thermal stability with scratch resistance increases exterior application durability.

- IES Types

NLS LIGHTING 701 Kingshill Place, Carson, CA 90746 **nslighting.com**
Call Us Today! (714) 341-2037

dmf **DRD5S & SurfaceFrame**
Surface Mount LED Downlight
General New Construction
DRDHJQ Octagonal Junction Box

PRODUCT BUILDER

HOUSING

PRODUCT CODE	APPLICATION	APERTURE	OPTION
DRDH	Housing	New Construction	EM-100 Integrated Driver
DRDH	Housing	New Construction	700SEM EM Driver, 0-10V, 750 lm
DRDH	Housing	New Construction	100SEM EM Driver, 0-10V, 1000 lm

LED MODULE

PRODUCT CODE	APERTURE	SHAPE	LUMENS	CRI	CCT	DRIVER
DRD5S	4"	Round	750 lm	90+ CRI	2700K	Integrated TRIAC/ELV
DRD5S	4"	Round	1000 lm	90+ CRI	3000K	Integrated 0-10V
DRD5S	4"	Round	1000 lm	90+ CRI	3500K	Integrated TRIAC/ELV Non-Conductive
DRD5S	4"	Round	1000 lm	90+ CRI	3500K	Integrated 0-10V Non-Conductive
DRD5S	4"	Round	1000 lm	90+ CRI	3500K	Emergency w/ Test Switch

DM option Housing and Emergency driver module must be selected together
* Only available for Round shape, 750 lm, 2700K or 3000K CCT

dmflighting.com

VEX WALL SCONCE **TECH LIGHTING**

PHOTOMETRICS*

VEX
Total Lumen Output: 354
Total Power: 18.3
Luminaire Efficacy: 29.6
Color Temp: 3000K
CRI: 90+
Rock Shield: 300-300

PROJECT INFO

ISSUE TYPE & QUANTITY: _____ JOB NAME & INFO: _____
DATE: _____ HOTEL: _____

TECH LIGHTING
GENERATION BRANDS
10000000 Avenue, Suite 1000, Frisco, TX 75034
T 940.435.4300 F 940.435.4300

techlighting.com

TECHTONICS DESIGN GROUP
730 Sandhill Rd., #250, Reno, Nevada 89521
tel 775-824-9988 fax 775-824-9986
www.techtonicsdesigngroup.com

Dutch Bros No.: TX1802
2230 Ridge Rd, Rockwall, TX 75087
MAIN & MAIN CAPITAL GROUP, LLC
5750 Genesis Ct, Suite 103, Frisco, Texas 75034
tel 214-308-0008

PROJECT/CLIENT: #21090

DATE: 10/15/21 **SUBMITTAL:** SITE PLAN
12/06/21 **SUBMITTAL:** SITE PLAN
RE-SUBMITTAL:

SHEET TITLE: LIGHTING SPEC SHEETS

SHEET: ES-3.0

DESIGNER: _____

STAMP: PRELIMINARY

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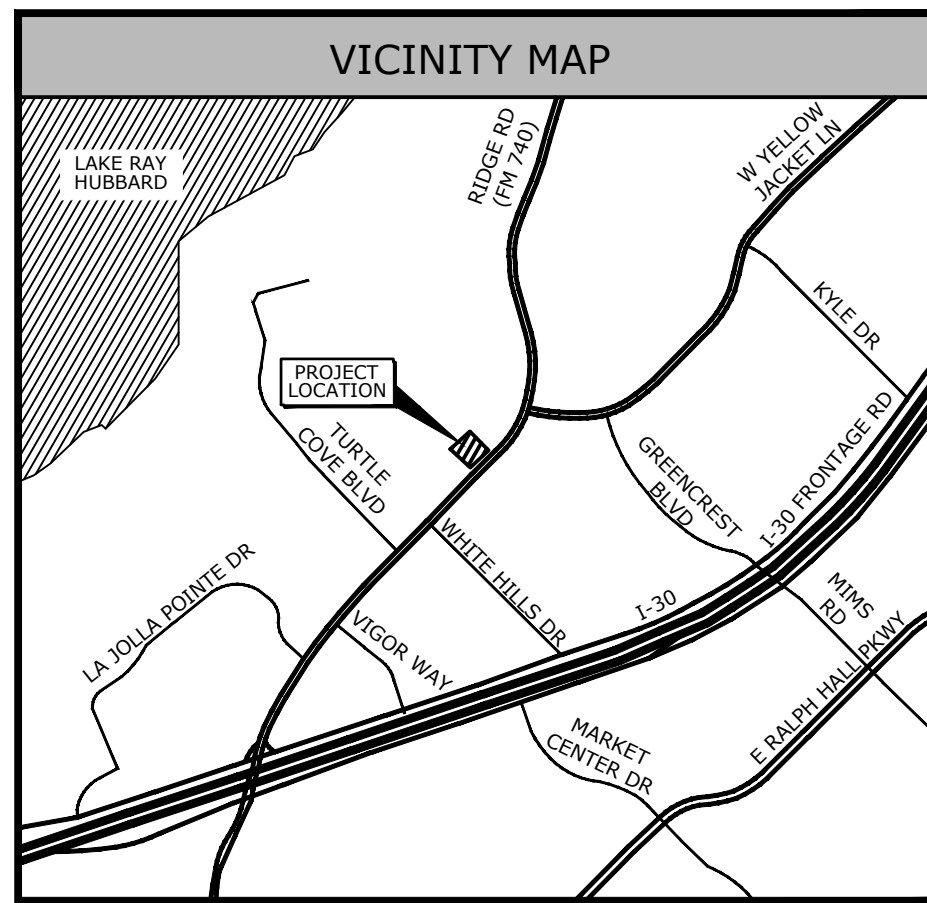
APPROVED: _____
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THE ____ DAY OF ____.

PLANNING & ZONING COMMISSION CHAIRMAN **DIRECTOR OF PLANNING AND ZONING**

SHEET SIGNATURE BLOCK

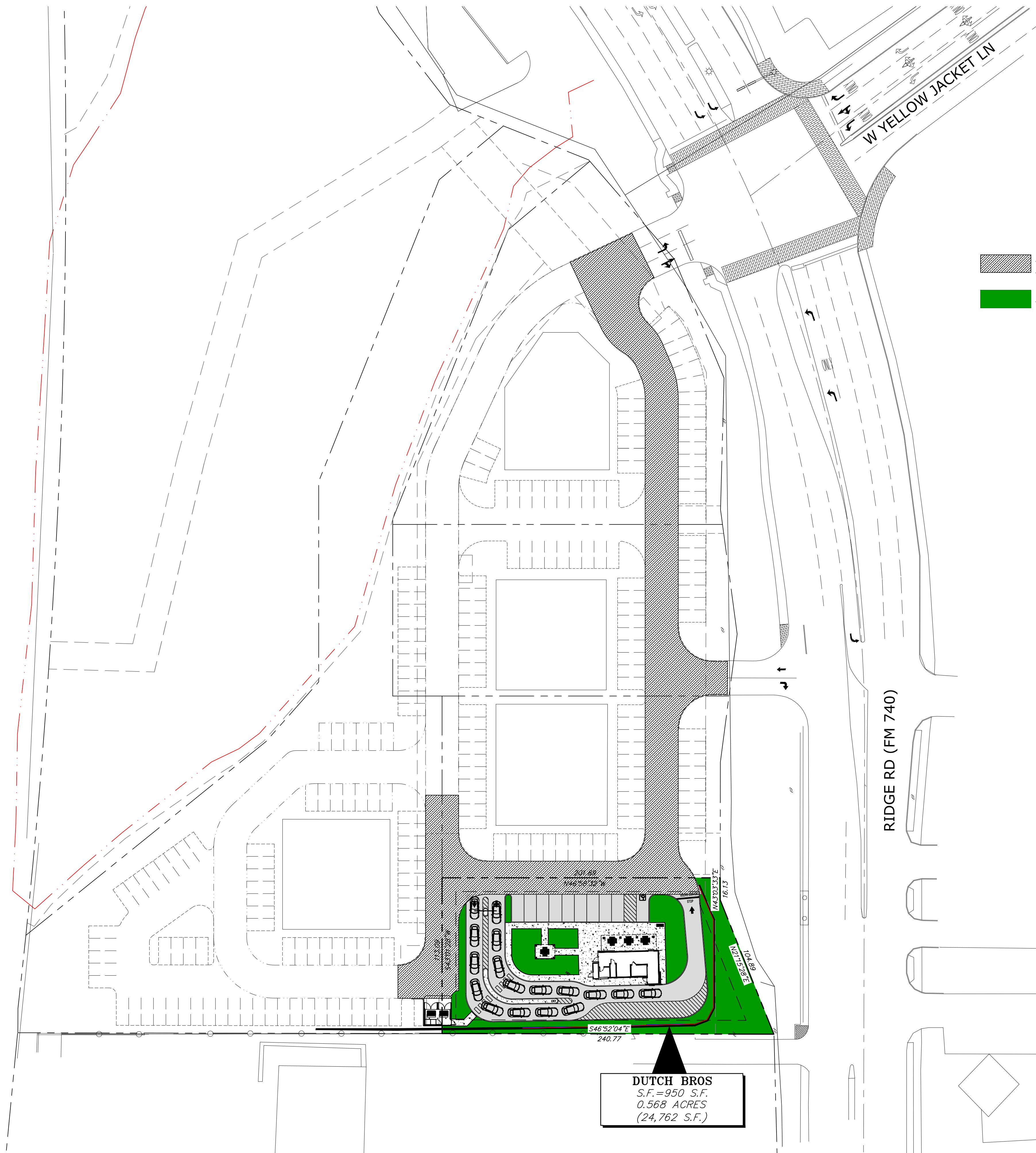
CASE #: SP2021-031



SCALE: N.T.S.

PROJECT SUMMARY TABLE	
ZONING	C (COMMERCIAL DISTRICT)
EXISTING LAND USE	VACANT/UNDEVELOPED
PROPOSED LAND USE	LIMITED SERVICE RESTAURANT
LOT AREA	0.568 ACRES (24,764 S.F.)
BUILDING AREA	950 S.F.
BUILDING HEIGHT	24 FT (1-STORY)
SETBACK FRONT	15 FEET
SETBACK SIDE	10 FEET
SETBACK REAR	10 FEET
BUILDING COVERAGE	3.8%
LANDSCAPE AREA	0.241 ACRES (10,497 S.F.)
LANDSCAPE COVERAGE	32.3%
PARKING REQUIRED	10 SPACES (1 PER 250 S.F. + 1 PER 4 OUTDOOR SEATS)
PARKING PROVIDED	10 SPACES
HANDICAPPED PROVIDED	1 SPACE (1-25 STALLS)
TOTAL CARS IN QUEUE	29 CARS

UNION PACIFIC RR



INITIAL CONCRETE FIRE LANE
 LANDSCAPE AREAS

DUTCH BROS
 S.F. = 950 S.F.
 0.568 ACRES
 (24,762 S.F.)

SITE PLAN SIGNATURE BLOCK

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____
 WITNESS OUR HANDS, THE ____ DAY OF ____

PLANNING & ZONING COMMISSION CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

CASE #: SP2021-031



SITE PLAN - OVERALL CENTER

SCALE: 1" = 40'-0"



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DRAWN: M.C.M.
 DESIGNED: J.P.B.
 CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

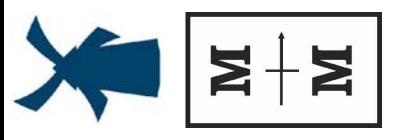
PRELIMINARY

STAMP:

TECTONICS DESIGN GROUP
 730 Sandhill Rd., #250, Reno, Nevada 89521
 tel: 775-824-9868
 fax: 775-824-9866
 www.tectonicsdesigngroup.com

DESIGNER:

Dutch Bros No.: TX1802
 2230 Ridge Rd, Rockwall, TX 75087
MAIN & MAIN
 CAPITAL GROUP, LLC
 5750 Genesis Ct, Suite 103, Frisco, Texas 75034
 tel 214-308-0008



PROJECT/CLIENT:
 # 21090

DATE: 12/07/21
 SUBMITTAL SITE PLAN SUBMITTAL

SUBMITTAL RECORD:

SHEET TITLE: SITE QUEUE

SHEET: C2.3



Dutch Bros Coffee
ARB & Site Plan Submittal
Variance Request Letter

Howdy,

Thank you for the opportunity to further present our proposed Dutch Bros Coffee project at 2200 Ridge Rd. We are excited to be submitting for ARB and Site Plan approval. Below are the existing and requested variances for our project, followed by the proposed compensatory measures.

Requested Variances

1. 90% masonry material.
 - Reasoning – the blue Nichiha siding (cement fiber board) is higher than the allowable secondary amount. The blue tower is a signature marketing feature for Dutch Bros' buildings. We have removed the cement plaster on the preliminary elevations to raise the primary material percentage as much as possible throughout the building, but request to keep the blue Nichiha tower because of the marketing feature for Dutch Bros.
2. More than 10% of secondary material on the Eastern and Southern elevations.
 - Reasoning – the blue Nichiha siding (cement fiber board) is higher than the allowable secondary material amount. The blue tower is a signature marketing feature for Dutch Bros' buildings. We have removed the cement plaster on the preliminary elevations to raise the primary material percentage as much as possible throughout the building, but request to keep the blue Nichiha tower because of the marketing feature for Dutch Bros.
3. Building is less than 6,000sf and does not have a pitched roof
 - Reasoning – the building has a flat roof with parapet walls to be able to screen the roof mounted equipment.
4. Finishing interior wall of parapet.
 - Reasoning – the parapet wall will have TPO material to ensure water tightness and prevent damage during shipment from the modular building factory. We are proposing to paint the interior walls of the parapet to match the exterior walls.



Proposed Compensatory Measures

1. Increased building articulation
 - a. Building articulation is achieved through the tower, canopy, and awnings from a horizontal and vertical articulation perspective.
2. Masonry building materials being equal or greater than surrounding properties
 - a. Along with the proposed brick, Nichiha board is being used which is considered to be a masonry product as it is a cement fiber board, similar to hardie-lap siding.
3. Increased architectural elements
 - a. Varied roof heights, awnings, canopies, and added pergola.
4. Proposed outdoor seating under building canopy.
5. Increased canopy length, which will span the length of the Northern elevation.
6. Additional outdoor seating under pergola.
7. No outdoor speakers in menu boxes.
8. Bike rack, promoting an alternative transportation and help reduce path obstructions.

Thank you again for your consideration.
We look forward to working together.

Best,

Sam Moore

Main & Main Capital Group, LLC

M: (817) 505-8117

F: (214) 308-1016

E: sm@maincg.com

5750 Genesis Court Suite 103 Frisco, TX 75034





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 14, 2021
APPLICANT: Jeff Carroll; *Carroll Architects, Inc.*
CASE NUMBER: SP2021-032; *Site Plan for a Medical Office Building at 1213B N. Goliad Street*

SUMMARY

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Timothy Payne of BT Management 11, LLC for the approval of a Site Plan for a Medical Office Building on a 0.47-acre parcel of land identified as Lot 2, Block 1, Eley Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally south of the intersection of Sonoma Drive and N. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

On June 20, 1959, the City Council approved *Ordinance No. 59-02* annexing the subject property in to the City of Rockwall. Based on the City's historic zoning maps, the subject property was zoned Single-Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and January 22, 1982, the subject property was rezoned to a Single-Family 10 (SF-10) District from Single-Family 2 (SF-2) District. On March 5, 2007, City Council approved *Ordinance No. 07-09*, changing the zoning of the subject property from Single-Family 10 (SF-10) District to Planned Development District 69 (PD-69), which allows for the following uses *by-right*: [1] Office General, [2] Office Building Less than 5,000 SF, [3] Home Occupation, [4] Single Family Detached, [5] Bed and Breakfast, and [6] Studio (*Art, Photography or Music*). The following uses are permitted in Planned Development District 69 (PD-69) with a Specific Use Permit (SUP): [1] Residential Care Facility and [2] Group/Community Home. On July 10, 2007 a final plat for Eley Addition was filed with Rockwall County establishing the subject property as Lot 2, Block 1, Eley Addition. At the time of platting, a storage shed and fence existed on the subject property, but these structures have since been removed. The subject property is currently vacant.

PURPOSE

On November 16, 2021, the applicant -- *Jeff Carroll of Carroll Architects, Inc.*-- submitted an application requesting approval of a site plan for the purpose of developing a two (2) story medical office building with a general office on the second floor. The total square footage of the structure is ~4,953 SF (*i.e. 3,588 SF [1st Floor: Medical Office] and 1,365 SF [2nd Floor: General Office]*).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1213B N. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.88-acre tract of land (*i.e. Lot 9 of the Greenvally Subdivision*), which is addressed as 1215 N. Goliad Street and is currently occupied with single family home. Beyond this is a variable width right-of-way followed by 1401 N. Goliad Street (*i.e. Tract 33 of the J. H. B. Jones Survey, Abstract No. 124*), which is currently vacant. North of this property is 401 Sonoma Drive (*i.e. Lot 1, Block C, Lakeview Summit, Phase 1A*), which is currently occupied with a single-family home. All of these properties are zoned Planned Development District 69 (PD-69) for limited Residential Office (RO) District land uses. Beyond this is Phase 1A of the Lakeview Summit Subdivision, which was established in 2001 and consists of 156 single-family residential lots. These lots are zoned Planned Development District 29 (PD-29) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is a 0.74-acre tract of land (i.e. Lot 1, Block 1, Eley Addition), which is zoned Planned Development District 69 (PD-69) with limited Residential Office (RO) District land uses and is currently occupied with a professional office. Beyond this are several single-family residential lots and an office building (i.e. 1201 N. Goliad Street). All of these properties are zoned Planned Development District 69 (PD-69) for limited Residential Office (RO) District land uses. Beyond this are six (6) properties occupied with single-family residential homes that are zoned Single Family 10 (SF-10) District. Beyond this is Planned Development District 56 (PD-56) which allows for General Retail (GR) District land uses.

East: Directly east of the subject property is N. Goliad Street, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Continuing east is 1210 N. Goliad Street, which is a 21.378-acre tract of land (i.e. Lot 1, Block A, Rockwall County Branch YMCA) is zoned Planned Development District 5 (PD-5). This property is currently being operated as the Rockwall YMCA. Beyond this is Raymond Cameron Lake, which is located in Planned Development District 5 (PD-5).

West: Directly west of the subject property is 1372 and 1378 Calistoga Drive, which are located in Planned Development District 29 (PD-29) and zoned for Single Family 7 (SF-7) District land uses. Beyond this is Phase 1 of the Lakeview Summit Subdivision, which consists of 99 single-family residential lots on 34.839-acres. The subdivision is zoned Planned Development District 29 (PD-29) for Single-Family 7 (SF-7) District land uses. Beyond this are Phases 1A, 2, & 3 of the Lakeview Summit Subdivision, which consist of a total of 344 single-family lots on 102.458-acres.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Medical and/or General Office Building* is a permitted *by-right* land use in a Residential Office (RO) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) and Planned Development District 69 (PD-69) with the exception of the requirements noted in RED below and as summarized in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X=20,473.20 SF; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X=100-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X>195.19-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X=25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	36-Feet	X=34' 8"; In Conformance
<i>Max Building/Lot Coverage</i>	40%	X=17%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	X<90%; Not In Conformance
<i>Maximum Cementitious Materials</i>	50%	X>50%; Not In Conformance
<i>Minimum Number of Parking Spaces</i>	1/200 SF of Building Area for Medical Office; 1/300 Building Area for Office	X=22; Not In Conformance
<i>Minimum Stone Requirement</i>	20% Natural or Quarried	X=0%; Not In Conformance
<i>Minimum Landscaping Percentage</i>	30%	X=31.4%; In Conformance
<i>Maximum Impervious Coverage</i>	75-80%	X=68.6%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates that existing trees are located along the western property line, and several Bodark, Elm, and Oak trees are located along the western property line. The treescape plan indicates that none of these existing trees will be removed from the site.

CONFORMANCE WITH THE CITY'S CODES

The proposed site plan generally conforms to the standards of Planned Development District 69 (PD-69) and the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances and exceptions outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo. In lieu of a wrought iron fence and three (3) tiered screening (*i.e.* [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees* or [2] *staggered evergreen trees and/or canopy trees in three [3] tiers*) along the entire length of the western adjacency, the applicant is proposing a screening plan that incorporates existing trees, canopy trees, and shrubs. An existing (3) foot stone retaining wall and an eight (8) foot wood fence along the western property line will provide a total of 11-foot total screen. Staff believes that the proposed screening in lieu of a wrought iron fence and three (3) tiered screening should adequately screen the residential property to the west. Additionally, the applicant is proposing three (3) tiered screening along a portion of the northern property line. The applicant is proposing to *not* incorporate a wrought iron fence along this portion of the northern property line. Staff would like to note that the proposed screening does appear to adequately screen the adjacent properties. The property to the north will be screened from any headlights directed to the adjacent property from the subject property. Additionally, the proposed screening plan for the property to the north would be more than the required screening should the land use designation change to the anticipated land use identified in the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan. Based on this, if the applicant were to provide an additional tree along the northern property boundary, the applicant's proposed screening plan does appear to meet the intent of the screening requirements contained in the Unified Development Code (UDC); however, this is a discretionary decision for the Planning and Zoning Commission.

VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances and exceptions to the requirements of the Unified Development Code (UDC):

(1) Materials and Masonry Composition.

- (a) Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. In this case, the applicant is not proposing to incorporate any natural or quarried stone on the exterior of the building.
- (b) Cementitious Materials. According to Subsection 06.02(C)(1)(a)(2), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the use of cementitious materials shall be limited to 50% of the building's exterior façade. In this case, each façade exceeds the 50% maximum cementitious materials allowed.

(2) Parking and Loading

- (a) Required Parking. According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), all residential/office buildings are required to meet the standards for minimum required parking. In this case, the building does not meet the required number of parking spaces required for the proposed medical office/office building. Based on the proposed medical office land use on the 1st floor and general office land use on the 2nd floor, a total of 23 parking spaces are required. The applicant is proposing 22 parking spaces.

(3) Landscape Screening

- (a) Screening from Residential. According to Subsection 5.02(C), *Landscape Standards*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. In addition, this section of the code requires a minimum of a 20-foot setback from the side yard property line to be used as a landscape buffer. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e.* [1] *small to mid-sized shrubs, large shrubs or accent trees, and*

canopy trees or [2] staggered evergreen trees and/or canopy trees in three [3] tiers) along the entire length of the adjacency. Canopy trees are required to be placed on 20-foot centers. In this case, the applicant is proposing three (3) tier screening along the northern property line just past the rear of the building from the northwest corner of the property. The three (3) tier screening along the northern property line will consist of cedar elm, accent trees, and shrubs; however, as opposed to creating three (3) separate tiers of landscaping the applicant is only showing a single tier that incorporates all of these elements. Along the western property line, the applicant is proposing that three (3) tier screening be composed of the existing trees, accent trees, and shrubs. Staff should note that there is an existing three (3) foot stone retaining wall and an eight (8) foot wood fence along the western property line that provides a total of 11-foot screen in total screen; therefore, the applicant is not proposing to incorporate a wrought iron fence with the screening.

According to Section 9, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested variances." This is the same for exceptions being requested under this section of the UDC.

In this case, the applicant has provided a letter explaining the variances and exceptions, and offering compensatory measures in the form of: [1] a bicycle rack, [2] increased architectural elements (*i.e. awnings, covered sidewalk canopies*), [3] varied roof heights and peaked roof forms, and [4] increased landscaping on the frontage of the property. Additionally, the applicant is indicating that the intent is to continue the common architectural elements that provide a presence by matching the existing aesthetic of the residential and office buildings in Planned Development District 69 (PD-69). Staff should point out that the requested variances to the building to allow for a more building that is more residential in scale; however, the parking variance is tied to the size of the building and the applicant is able to adjust this to bring the project into conformance. With regard to the proposed landscape standards, the proposed screening standard does appear to meet the intent of the screening standards contained in the UDC. In this case, the Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variances. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the variance(s) are denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the North Lakeshore District and is designated for Live/Work land uses. According to the *District Strategies* for the North Lakeshore District the Live/Work designation is "...intended to provide low intensity transition from residential properties to the N. Goliad Street [SH-205]. These centers should be constructed to a similar residential scale as the adjacent residential properties." In this case, the applicant's proposed building was designed as a residential scale building and will match existing single-family homes of the area. Based on this, the applicant's site plan appears to meet the intent of Comprehensive Plan for a medical/general office facility located within the Live/Work designation.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 30, 2021 the Architectural Review Board (ARB) reviewed the proposed building elevations and recommended the applicant provide a front porch element to the east building façade. The applicant has updated the renderings of the building to include this element. The Architectural Review Board will review the proposed revisions made by the applicant at the December 14, 2021 meeting and forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a *Medical and/or General Office Building* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant will be required to resubmit the building elevations with corrected material percentages showing a breakdown of the materials used on each façade and the percentage masonry -- *as required to be calculated by the Unified Development Code (UDC)* -- used on each façade.
- (3) The applicant shall provide three (3) tiered screening along the north and west property line(s) of the subject property in conformance with requirements set forth in Subsection 05.02(B), *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).
- (4) The applicant shall provide an additional canopy tree adjacent to the northern property line in the gap in the three (3) tiered screening to better conform to the requirements of Article 08, *Landscape and Screening*, of the Unified Development Code (UDC).
- (5) If the variances and exceptions are approved by the Planning and Zoning Commission, the applicant shall provide the compensatory measures associated with these variances and exceptions as outlined in this case memo.
- (6) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP 2021-632

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1213 N. Goliad Street Rockwall, TX 75087

SUBDIVISION J. H. B. Jones Survey Abstract No. 124 LOT 1 BLOCK 1

GENERAL LOCATION N. Goliad across from YMCA

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD - 69 CURRENT USE N/A

PROPOSED ZONING PD - 69 PROPOSED USE Office

ACREAGE 0.47 AC. LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER BT Managment 11, LLC APPLICANT Carroll Architects, Inc.

CONTACT PERSON Timothy Payne CONTACT PERSON Jeff Carroll

ADDRESS 1141 Ridge Road Court ADDRESS 750 E. Interstate 30
Suite #4217 Suite 110

CITY, STATE & ZIP Rockwall, Texas 75087 CITY, STATE & ZIP Rockwall, Texas 75087

PHONE 903,268.6965 PHONE 214.632.1762

E-MAIL btmanagement11@gmail.com E-MAIL jc@carrollarch.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

0 30 60 120 180 240 Feet

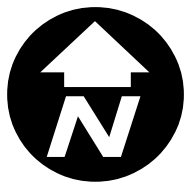
SP2021-032- SITE PLAN FOR PAYNE CHIROPRACTIC
SITE PLAN - LOCATION MAP = 

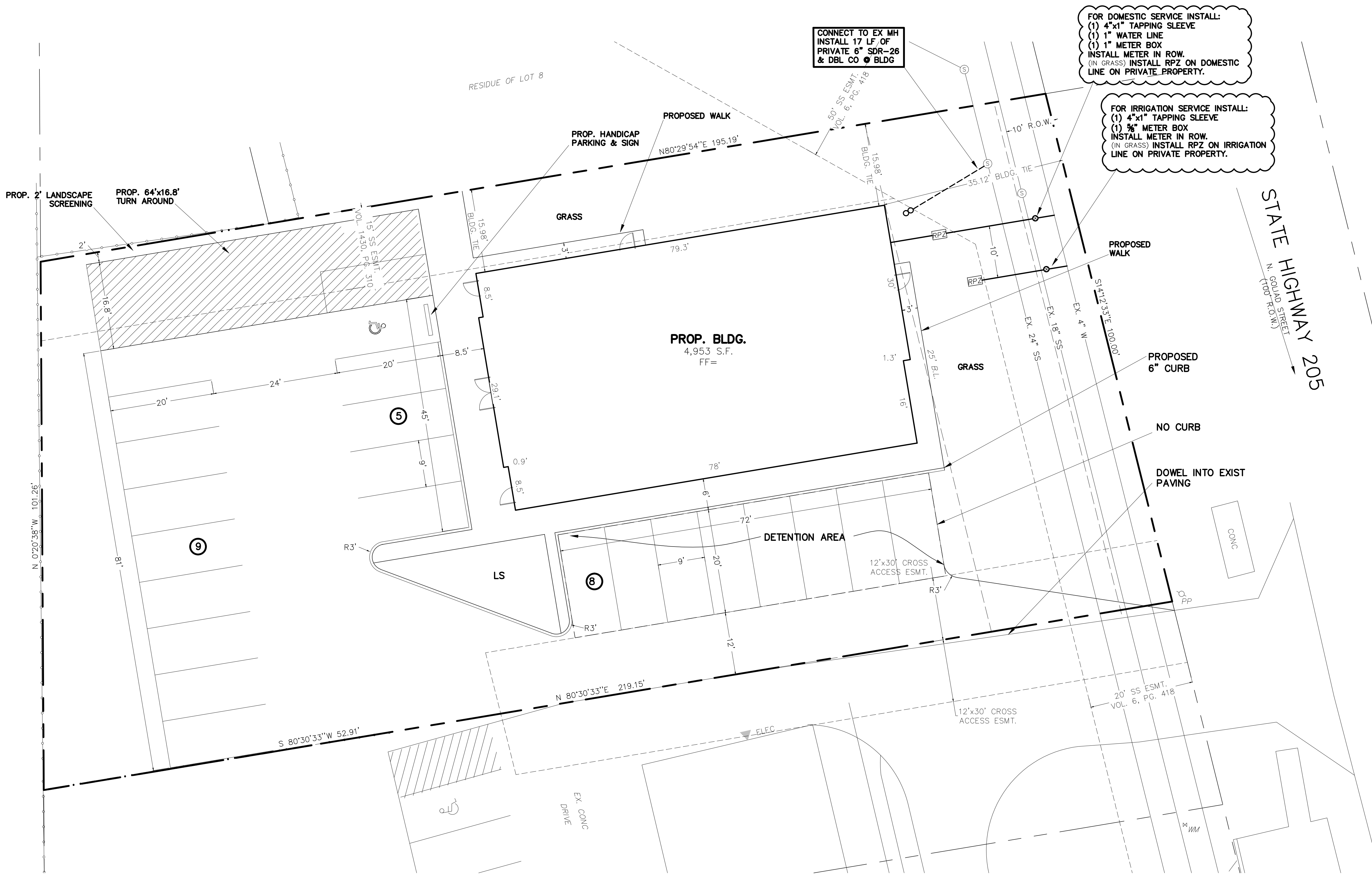


City of Rockwall

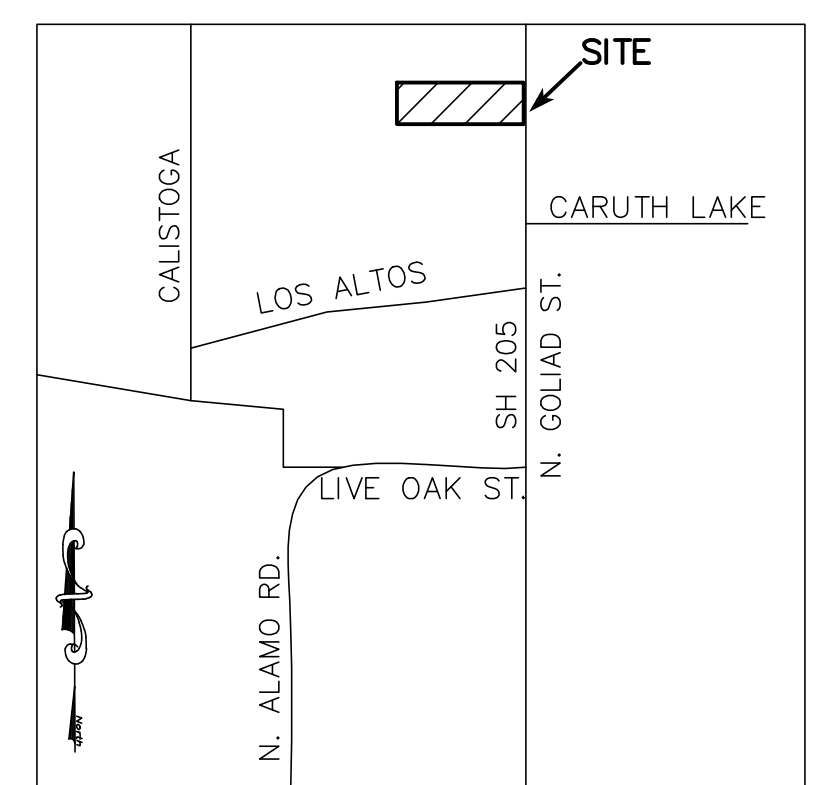
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA:
LOT AREA: 0.47 Acres, 20,473.2 sq.ft.
LOT COVERAGE: 17.5%
FLOOR TO AREA RATIO: 5.7:1
BUILDING AREA:
 1ST FLOOR: 3,588 sq.ft.
 2ND FLOOR: 1,365 sq.ft.
 TOTAL: 4,953 sq.ft.
BUILDING HEIGHT:
 2 STORY
PROPOSED FUTURE USE:
 OFFICE
IMPERVIOUS AREA (including buildings):
 14,048.2 sq.ft.
ZONING:
 PD-69, NORTH 205 OVERLAY
PARKING:
 Required:
 First Floor (Medical 1/200sf) = 18
 Second Floor (Office 1/300sf) = 5
 Provided: 1
 Standard = 21
 Handicapped = 1
 Total Provided = 22
LANDSCAPE AREA:
 Required: (15%) 3,071 sq.ft.
 Provided: 6,427 sq.ft.
FIRESPRINKLER:
 NO



LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FTH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- TELEPHONE BOX = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- NEW PAVING = NEW PAVING

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) PRIVATE TRASH SERVICE

- PAVING NOTES:**
- 1) APPROACHES AND FIRELANE TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

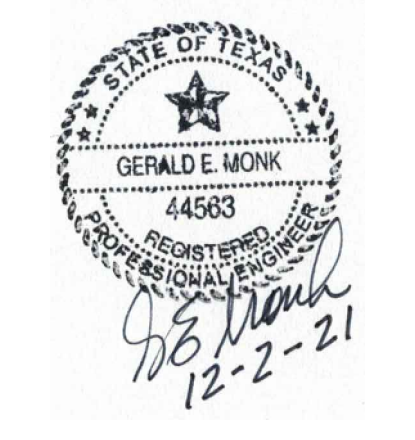
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Director of Planning and Zoning

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #:

SITE PLAN

PAYNE CHIRO

1213 N. Goliad
Lot 2, Block 1, Eley Addition 0.47 ACRES
City of Rockwall, Rockwall County, Texas

BT MANAGEMENT 11, LLC
1141 Ridge Road, Ch. #4217
Rockwall, TX 75087

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2021 Monk Consulting Engineers, Inc., All Rights Reserved
PROJECT # 2021-13 REG. NO.: F-2567

date: 12/2/21 scale: 1"=10' sheet: C101

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



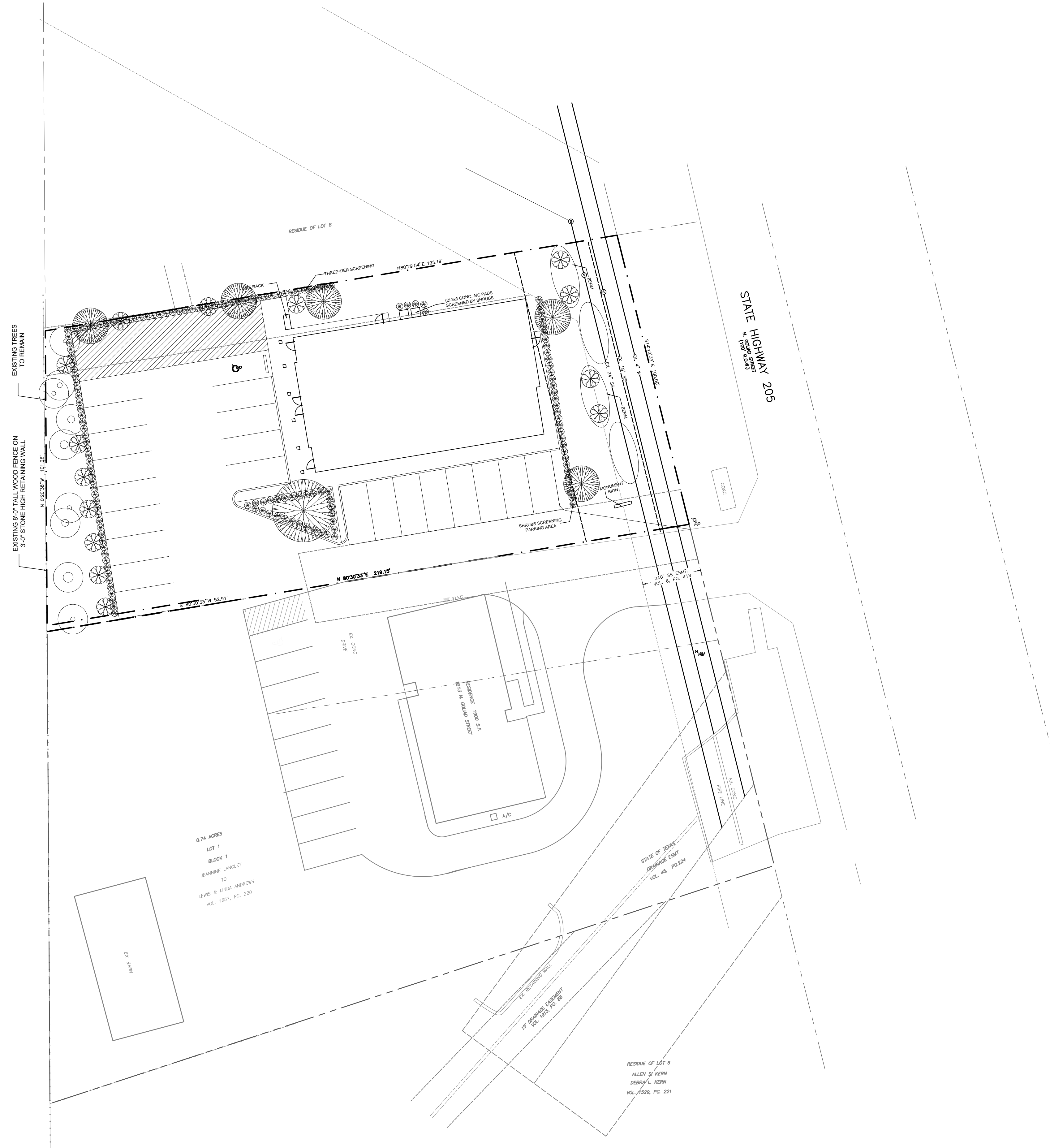
PAYNE CHIROPRACTIC
ROCKWALL, TEXAS





PAYNE CHIROPRACTIC
ROCKWALL, TEXAS





SITE DATA TABLE	
SITE AREA	0.47 ACRES (20,473 S.F.)
ZONING	PD-69
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA:	
FIRST FLOOR	3,588 S.F.
SECOND FLOOR	1,365 S.F.
TOTAL AREA	4,953 S.F.
LOT COVERAGE (GROSS AREA)	17.5%
FLOOR TO AREA RATIO	5.71 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
MEDICAL PARKING (1/200)	3,588/200 = 18 SPACES
OFFICE PARKING (1/300)	1,365/300 = 5 SPACES
PARKING REQUIRED	23 SPACES W/ (1 ADA)
PARKING PROVIDED	22 SPACES W/ (1 ADA)

LANDSCAPE TABULATION	
NET AREA	0.47 ACRES (20,473 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 20,473 S.F.	3,071 S.F.
PROVIDED LANDSCAPE AREA-- 31% OF 20,473 S.F.	6,427 S.F.
IMPERVIOUS COVERAGE-- 66% OF 20,473 S.F.	14,046 S.F.

- NOTES:
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10'.
 - No trees within 10' of public utilities 10" or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	EXISTING TREES TO REMAIN
	ACCENT TREE

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT.
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE.

PAYNE CHIROPRACTIC	
LEGAL DESCRIPTION AND OR ADDRESS:	
PAYNE CHIROPRACTIC, LLC. LOT 2, BLOCK 1, ELSEY CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS	
OWNER	
BT Management 11, LLC. 1141 Ridge Road Court #4217 Rockwall, TX 75087 P:	
APPLICANT	
Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: j@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2021-032	
SITE PLAN SIGNATURE BLOCK	
APPROVED:	
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.	
WITNESS OUR HANDS, this _____ day of _____.	
Director of Planning & Zoning	

ISSUE:	
OWNER REVIEW:	11-16-2021
CITY COMMENTS:	12-07-2021

COPYRIGHT NOTICE:
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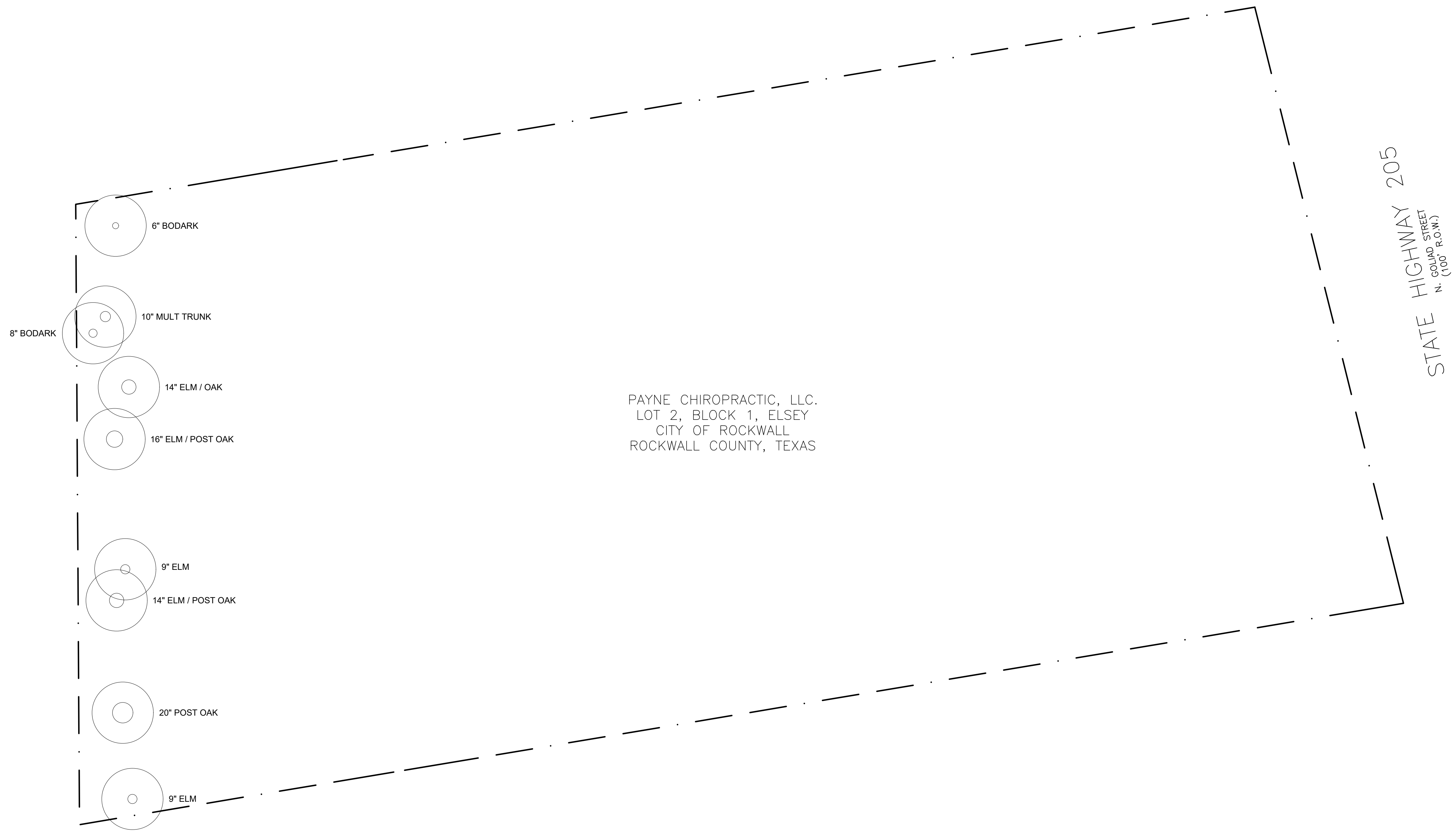
PROPOSED OFFICE BUILDING FOR
PAYNE CHIROPRACTIC
1213 N. Goliad St.
Rockwall, Texas 75087

BT MANAGEMENT
11, LLC.
1141 Ridge Road
Court #4217
Rockwall, TX. 75087

CARROLL
architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

LANDSCAPE PLAN

DATE:	NOV 2021	SHEET NO.:	L1
PROJECT NO.:	2020069		
DRAWN BY:	KR		
CHECKED BY:			



PAYNE CHIROPRACTIC, LLC.
 LOT 2, BLOCK 1, ELSEY
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

STATE HIGHWAY 205
 N. GOLIAD STREET
 (100' R.O.W.)

SITE DATA TABLE	
SITE AREA	0.47 ACRES (20,473 S.F.)
ZONING	PD-69
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA:	
FIRST FLOOR:	3,588 S.F.
SECOND FLOOR:	1,385 S.F.
TOTAL AREA:	4,973 S.F.
LOT COVERAGE (GROSS AREA)	17.5%
FLOOR TO AREA RATIO	5.71 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
MEDICAL PARKING (1/200)	3,588/200 = 18 SPACES
OFFICE PARKING (1/300)	1,385/300 = 5 SPACES
PARKING REQUIRED	23 SPACES W/ (1 ADA)
PARKING PROVIDED	22 SPACES W/ (1 ADA)

LANDSCAPE TABULATION	
NET AREA	0.47 ACRES (20,473 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 20,473 S.F.	3,071 S.F.
PROVIDED LANDSCAPE AREA-- 31% OF 20,473 S.F.	6,427 S.F.
IMPERVIOUS COVERAGE-- 68% OF 20,473 S.F.	14,046 S.F.

- NOTES:
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10'.
 - No trees within 10' of public utilities 10" or greater

- GENERAL NOTES:
1. ALL EXISTING TREES TO REMAIN.
 2. PROPERTY WILL REQUIRE A REPLANT TO ABANDON THE ALLEYWAY IN REAR OF BUILDING.

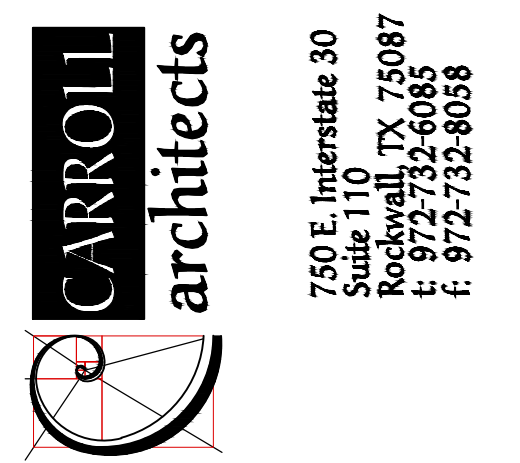
PAYNE CHIROPRACTIC	
LEGAL DESCRIPTION AND OR ADDRESS: PAYNE CHIROPRACTIC, LLC. LOT 2, BLOCK 1, ELSEY CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS	
OWNER BT Management 11, LLC. 1141 Ridge Road Court #4217 Rockwall, TX 75087 P:	
APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2021-032	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.	
WITNESS OUR HANDS, this _____ day of _____.	
Director of Planning & Zoning	

ISSUE:	
OWNER REVIEW: 11-16-2021	
CITY COMMENTS: 12-07-2021	

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PROPOSED OFFICE BUILDING FOR
PAYNE CHIROPRACTIC
 1213 N. Goliad St.
 Rockwall, Texas 75087

BT MANAGEMENT
 11, LLC.
 1141 Ridge Road
 Court #4217
 Rockwall, TX. 75087



TREE SURVEY PLAN

DATE: NOV 2021 SHEET NO.: TS
 PROJECT NO: 2020069
 DRAWN BY: KR
 CHECKED BY:



750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

December 8, 2021

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2021-032 Variance Requested
Payne Office Development
Rockwall, TX.

Mr. Miller,

This letter serves as a summary of the Request for Variances to the UDC within the general overlay district and PD-69. The Variances include **A) Reduction of (1) Parking Space, B) Residential landscaping reduction, C) Building Horizontal Articulation, D) Building Primary and Secondary Materials.**

- A) **Reduction of 1 parking space.** Due to the site constraints, we are requesting to reduce the required parking from 23 spaces to 22 spaces. Note, when the future drive extends towards the adjacent lot, we will pick up 3 extra spaces giving the project 2 extra spaces.
- B) **Residential landscaping Reduction.** The west property contains more existing trees than required by code, plus an existing 3'-0" stone retaining wall with an 8'-0" fence on top giving an 11'-0" tall screen fencing towards the residential property. The north driveway will connect to the adjacent property in the future. We are requesting to provide new shrubs and ornamental trees only and delete the wrought iron fence.
- C) **Horizontal Articulation.** The architectural style for this area has changed to create a Craftsman style design. We have designed a craftsman style with pitched roofs and awnings.
- D) **Building Primary and Secondary Materials.** Stone, 20% required, we are requesting 0%. Cementitious Materials, cementitious lap siding, 50% max required, we are requesting a reduction as per the elevations provided to incorporate the craftsman style architecture.

Compensatory items we are providing for these variances.

- A) We are adding a bicycle rack to the north side of the front sidewalk, we will also gain an extra 3 spaces in the future when the north adjacent property develops.

- B) Existing trees, 3' tall stone wall and an 8'-0" tall wood fence provide existing residential screening. We are enhancing it with new shrubs and ornamental trees on our side for headlight screening.
- C) We are providing awnings and covered sidewalk canopies to help offset the articulation.
- D) We are using typical Craftsman Style materials, cementitious lap siding and brick with decorative columns and wood accent details.
- E) City Ordinance requires 15% landscaping. We are proposing 31% which is 100% more than required by zoning code. This extra 15% is in the front street area and north side.

Thank you for your consideration and reviewing our request.

Sincerely,

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: December 14, 2021
SUBJECT: SP2021-033; *Site Plan for Salad and Go*

On December 9, 2021, the applicant submitted a letter to staff requesting a 30-day extension in accordance with the requirements of Chapter 212, *Municipal Regulations of Subdivisions and Property Development*, of the Texas Local Government Code (see *Exhibit 'A'*). The purpose of the extension is to allow the applicant additional time to work through staff comments with regard to the proposed building elevations. The applicant indicated that they will return to the December 28, 2021 Planning and Zoning Commission meeting. This will not require any action by the Planning and Zoning Commission; however, staff would like to announce the new meeting date to the general public at the December 14, 2021 meeting.



4500 Mercantile Plaza Dr, Suite 210
Fort Worth, Texas 76137
Tel: 682.268.2200
Fax: 682.268.2299
www.jonescarter.com

December 10, 2021

City of Rockwall
385 South Goliad Street
Rockwall, Texas 75087

Re: SP2021-033 Planning Department Comments / Salad and Go – Rockwall – Goliad and FM 522

To whom this may concern:

As the applicant of the above referenced project, we request to have a 30-day extension to allow more time to address Staff's comments received on December 9th, 2021.

Thank you for your assistance. Should you have any questions or require additional information, please call me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ryan Alcala'.

Ryan Alcala, P.E.

RJA/rja

K:\17007\17007-0037-00 Salad and Go - Goliad and FM 522 - Rockw\Project Management\Correspondence\Out\City of Rockwall